



PLANNING AND ZONING COMMISSION MEETING
CITY HALL - COUNCIL CHAMBERS, 300 W. MAIN STREET
MONDAY, MARCH 08, 2021 AT 5:30 PM

AGENDA

BRIEFING SESSION - 5:30 PM

It is the intent of the Planning and Zoning Commission to be briefed by staff, and that all items on the agenda shall be available or open for discussion during the Briefing Session. The Planning and Zoning Commission may ask applicants and other interested parties for information or presentations. All interested parties are invited to attend. Briefings are taped.

Call to Order

Agenda Review

COVID Meetings Update

REGULAR MEETING - 6:30 PM

Call to Order

Invocation

Pledge of Allegiance

CITIZEN COMMENTS

Citizens may speak during Citizen Comments for up to five minutes on any item not the agenda by completing and submitting a speaker card.

PUBLIC HEARING CONSENT AGENDA

Items listed on the Public Hearing Consent Agenda are considered to be routine and will be approved by one motion and one vote. There will be no separate discussion of the Public Hearing Consent Agenda items unless requested. If discussion is desired on an item, it will be considered separately. The Commission may ask questions of those present on an item from the Public Hearing Consent Agenda.

1. Approval of Minutes of the February 8, 2021 P&Z meeting
2. Approval of Minutes of the February 22, 2021 P&Z meeting
3. P210301– Final Plat – Prairie Gate Ph. 2 Addition, Lots 2 & 3, Block A (City Council District 2). Final Plat creating two non-residential lots on 10.646 acres. Situated in the Thomas J. Tone Survey, Abstract No. 1460, City of Grand Prairie, Dallas County, Texas. Zoned PD-19 and is within IH 32 Corridor Overlay District, addressed as 3930 & 3972 Westcliff Road

4. P210302 - Preliminary Plat - Cottages at Dechman (City Council District 2). Preliminary Plat of Lot 1, Block A, Cottages at Dechman, creating a multifamily residential lot on 15.902 acres. Lot 1, Block A, Cottages at Dechman, City of Grand Prairie, Dallas County, Texas zoned PD-20 (Multi-Family) and located in the IH-20 Corridor Overlay District, and addressed as 3900 Dechman Drive
5. P210303 - Preliminary Plat - Hamilton-Matthew Business Center Lots 1 and 2, Block 1 (City Council District 6). Preliminary Plat of Lots 1 & 2, Block 1, Hamilton-Matthew Business Center Addition, creating two office/warehouse industrial lots on 7.0 acres. Lots 1 & 2, Block 1, Hamilton-Matthew Business Center Addition, City of Grand Prairie, Dallas County, Texas zoned PD-30 (Light Industrial) and is located in the IH-20 Overlay Corridor District. The property is generally located at southeast corner of Bardin Road and Tarrant-Dallas County Line
6. P210304 - Final Plat - Heritage Towne (City Council District 6). Final Plat for 103 residential lots, 7 open space lots, 12 private street and alley lots, and 1 amenity center lot on 39.636 acres. Final Plat for Heritage Towne Addition including Lots 1-57x, Block A, Lots 1-14x, Block B, Lots 1-17x, Block C, Lots 1-17x, Block D, Lots 1x-9, Block E, Lots 1x-2x, Block F, Lot 1x, Block G, and Lots 2x-9x, Block H, City of Grand Prairie, Dallas County, Texas, PD-399A and approximately located north of the intersection of Highway 287 and Davis Road-
7. P201204 - Preliminary Plat - Camp Wisdom Village Addition (City Council District 4). Preliminary Plat for Lots 1-4, Block 1, Camp Wisdom Village, creating four lots on 26.778 acres. Tract 1G, Tract 2, and Tract 3, Memcan Hunt Survey, Abstract No. 758, City of Grand Prairie, Tarrant County, Texas, zoned PD-376, and generally located on the northeast corner of W Camp Wisdom Rd and Martin Barnes Rd

PUBLIC HEARING POSTPONEMENT, RECESS, CONTINUATIONS

In accordance with Section 1.11.5.7 of the Unified Development Code (UDC) a public hearing for which notice has been given may be postponed by announcing the postponement at or after the time and place the hearing is scheduled to begin. A public hearing may be recessed and continued any time after the hearing has commenced. Section 1.11.5.7.C of the UDC states if a postponement or continuance of a public hearing is to a specific date and time no later than 60 days from the first or most recent hearing, the announcement of the postponement or continuance at the public hearing in which the application has been postponed or continued by the Planning and Zoning Commission shall be sufficient notice and no additional notice is required. However, the Planning and Zoning Commission may direct staff to re-notify postponed or continued applications for which public hearings have not yet commenced.

8. Z210203/CP210203 - Planned Development Request - Gilbert Villas (City Council District 1). Planned Development Zoning Request for a townhome development with 96 lots on 8.379 acres. The lot sizes range from 2,250 to 3,866 sq. ft with lot widths of 25 feet and 85-90-foot lot depths
9. Z201203/CP201202 - Zoning Change/Concept Plan - Grand Prairie Multi-Family (City Council District 3). Zoning Change and Concept Plan for a Multi-Family and General Retail development on 31.45 acres. Tract 5, Mercer Fain Survey, Abstract No. 475, City of Grand

Prairie, Dallas County, Texas, zoned SF-4 and GR, and located at the northeast corner of E Marshall Dr and S Belt Line Rd

- [10.](#) Z201101/CP201101 - Zoning Change/Concept Plan - Mixed Use at SH-360 and Davis Rd (City Council District 6). Zoning Change and Concept Plan for a mixed-use development that includes commercial, office, mixed and multi-family uses on about 41 acres. B. F. Howard Survey, Abstract No. 513, and Seth M. Blair Survey, Abstract No.135, City of Grand Prairie, Ellis County, Texas, zoned Agriculture, and generally located east of State Highway 360 and north of US Highway 287

ITEMS FOR INDIVIDUAL CONSIDERATION

- [11.](#) S201203 - Site Plan - Camp Wisdom Village (City Council District 4). Site Plan for Camp Wisdom Village, a multi-family and mixed-use development with 499 multi-family units and 16,000 sq. ft. of retail/restaurant uses on 26.778 acres. Tract 1G, Tract 2, and Tract 3, Memcan Hunt Survey, Abstract No. 758, City of Grand Prairie, Tarrant County, Texas, zoned PD-376, and generally located on the northeast corner of W Camp Wisdom Rd and Martin Barnes Rd

PUBLIC HEARING

Members of the public may address the Commission on items listed on the agenda under Public Hearing Items. Persons wishing to address the Commission must first complete a request to speak card. A person may also use the request to speak card to indicate his or her support or opposition to a case without speaking. Cards may be picked up at the desk by the entrance to the City Council Chambers and may be deposited at the desk or given to a staff member. Speaking time is generally limited to five minutes per speaker. Per the by-laws of the Planning and Zoning Commission, the applicant and those favoring the request shall have a maximum of 30 minutes, including rebuttal, to present their arguments for the request. Those in opposition to a request shall have a maximum of 30 minutes to present their arguments against the request. When a large group is present, it is encouraged that representatives be appointed to speak for the group so that redundant testimony is minimized. Commissioners may have questions of those speaking at the public hearing. The time used to answer the Commission's questions will not be deducted from the allotted 30 minutes. These rules may be temporarily suspended, in whole or in part, by a unanimous vote of the Commission.

- [12.](#) SU210301/S210301 - Specific Use Permit / Site Plan – Bush & Pioneer Centre (Council District 2). Specific Use Permit and Site Plan for drive through restaurant within Bush Pioneer Centre on 1.155 acres. Lot 5R, Block A, Bush Pioneer Centre Addition, City of Grand Prairie, Dallas County, Texas, zoned PD 351, within the 161 Corridor Overlay District, approximately located northeast of the intersect of SH161 and Arkansas Lane
- [13.](#) TA210101 - Text Amendment to Article 10: Parking and Loading Standards and Article 30: Definitions of the Unified Development Code to revise the parking requirements and definitions regarding auto related businesses

ADJOURNMENT

Certification

In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A, the Planning and Zoning Commission agenda was prepared and posted March 05, 2021.

The City Hall is wheelchair accessible. If you plan to attend this public meeting and you have a disability that requires special arrangements, please call 972-237-8255 at least 24 hours in advance. Reasonable accommodations will be made to assist your needs.

LEGISLATIVE PRAYER AND PLEDGE OF ALLEGIANCE

It is the custom and tradition of the members of the Planning and Zoning Commission to have an invocation followed by recitals of the United States of America and State of Texas pledges of allegiance prior to the beginning of its meetings. The invocation and pledges are directed to and offered solely for the benefit of the members of Commission, though members of the audience are welcome to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and will have no bearing on any matter considered or decision made by the Commission during the meeting.



Monica Espinoza, Planning Secretary



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, Chief City Planner

TITLE: Approval of Minutes of the February 8, 2021 P&Z meeting

RECOMMENDED ACTION: Approve



**REGULAR PLANNING AND ZONING COMMISSION
MEETING MINUTES
FEBRUARY 8, 2021**

COMMISSIONERS BRIEFING

COMMISSIONERS PRESENT: Chairperson Shawn Connor, Vice-Chairperson Bill Moser, Secretary Cheryl Smith, and Commissioners, Josh Spare, Julia Perez, Max Coleman, Eric Hedin, Warren Landrum, John Fedorko.

COMMISSIONERS ABSENT: none

CITY STAFF PRESENT: Deputy City Manager, Bill Hills, Rashad Jackson, Planning and Development Director, Savannah Ware, Chief City Planner, Dana Woods, Senior Planner, Charles Lee, Senior Planner, Jonathan Tooley, Planner, Tiffany Bull, Assistant Attorney, Brett Huntsman, Transportation Planner, Monica Espinoza, Executive Assistant.

Chairperson Shawn Connor called the briefing to order by Video Conference at 5:34 p.m.

AGENDA REVIEW #1 – Z201203/CP201202 - Zoning Change/Concept Plan - Grand Prairie Multi-Family (City Council District 3). Chief City Planner Savannah Ware presented the case report and gave a Power Point presentation for a Zoning Change and Concept Plan for a Multi-Family and General Retail development on 31.45 acres. Tract 5, Mercer Fain Survey, Abstract No. 475, City of Grand Prairie, Dallas County, Texas, zoned SF-4 and GR, and located at the northeast corner of E Marshall Dr and S Belt Line Rd.

Commissioner Spare asked if the petition with over 200 signatures the most recent petition is. Ms. Ware stated yes.

Commissioner Perez stated the city needs more affordable housing in this district.

Commissioner Connor stated he understands what Ms. Perez stated about affordable housing but 20 years down the line they will not be maintained and believes the city already has too many apartments.

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Commissioner Spare stated residents purchased their homes with the understanding the parcel next to them was zoned for single family/general retail and not multi family. By adding these apartments their property values will go down and there will be an increase of traffic on Belt Line and the city must protect the homeowners.

Deputy City Manager, Bill Hills stated the developer has heard the concerns of the neighborhood and has requested for this item to be tabled, so they can work with the residents to find a solution.

ITEM #2 – Z210203/CP210203 - Planned Development Request - Gilbert Villas (City Council District 1). Senior Planner Dana Woods presented the case report and gave a Power Point presentation for a Planned Development Zoning Request for a townhome development with 96 lots on 8.379 acres. The lot sizes range from 2,250 to 3,866 sq. ft with lot widths of 25 feet and 85-90-foot lot depths. Tracts 4, 6, and 22, Elizabeth Gray Abstract 1680, City of Grand Prairie, Dallas County, Texas, zoned PD-317, partially included within the SH 161 Corridor Overlay District, and addressed as 108 Shady Grove Rd.

Planning and Development Director, Rashad Jackson stated the developer requested for item to be tabled.

ITEM #3 – P210203-Final Plat- Continental Fund 519 Subdivision (City Council District 2). Final Plat for Continental Fund 519 Subdivision, Lot 1, Block A (City Council District 2). Final Plat of Lot 1, Block A, Continental Fund Subdivision, creating a multifamily residential lot on 18.985 acres. Being situated in the Charles D. Ball Survey, Abstract No. 1699 and William H, Beeman Survey, Abstract No. 126, City of Grand Prairie, Dallas County, Texas, zoned PD-405, within the SH-161 Corridor Overlay District, and addressed as 2136 Sarah Jane Parkway

Commissioner Moser asked for the history of this item. Senior Planner Charles Lee stated this is a final plat for apartments and the name changed per the developer's request. In July 2018 the Planning & Zoning Commission approved a Preliminary Plat for Forum at Sara Jane Addition (Case Number P180303) to establish three lots on 55.579 acres. In October 2020 City Council approved PD-405 (Case Number Z200903/CP20091) for multi-family residential uses on 18.975 acres. In December 2020 City Council approved a Site Plan (Case Number S201104) for a 276-unit multi-family residential development on 18.975 acres.

ITEM #4 – COVID Meeting Procedures

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Planning and Development Director, Rashad Jackson stated city managers office is reevaluating location for the meetings for March to see if they will continue via video conference, in person or hybrid.

Commissioner Smith stated COVID positive rates are still increasing in both Tarrant and Dallas County and asked to carefully consider before appointing in person meetings again.

REGULAR MEETING

COMMISSIONERS PRESENT: Chairperson Shawn Connor, Vice-Chairperson Bill Moser, Secretary Cheryl Smith, and Commissioners, Josh Spare, Julia Perez, Max Coleman, Eric Hedin, Warren Landrum, John Fedorko.

COMMISSIONERS ABSENT: none

CITY STAFF PRESENT: Deputy City Manager, Bill Hills, Rashad Jackson, Planning and Development Director, Savannah Ware, Chief City Planner, Dana Woods, Senior Planner, Charles Lee, Senior Planner, Tiffany Bull, Assistant Attorney, Brett Huntsman, Transportation Planner, Monica Espinoza, Executive Assistant.

Chairperson Shawn Connor called the meeting to order by Video Conference at 6:31 p.m. and Commissioner Moser gave the invocation, and Commissioner Fedorko led the pledge of allegiance to the US Flag, and the Texas Flag.

Citizen Comments: None

AGENDA ITEM: #1 - APPROVAL OF MINUTES: To approve the minutes of the Planning and Zoning Commission meeting of January 25, 2021.

CONSENT PUBLIC HEARING AGENDA Item #2 – P210201 - Minor Subdivision Plat - Ernesto Fabian Addition, Lots 1-3 Minor Plat (City Council District 5). Minor Subdivision Plat of Lots 1, 2, and 3, Ernesto Fabian Addition, creating three residential lots on .99 Acres. Lots 1, 2, and 3, Ernesto Fabian Addition, City of Grand Prairie, Dallas County, Texas, zoned Single Family-Four Residential District (SF-4) and addressed as 1002 Small St.

Item #3 – P210202 - Final Plat - TCC MacArthur Addition, Lots 1-3, Block 1 (City Council District 1). Final Plat of Lots 1,2 and 3, Block 1, TCC MacArthur Addition, creating three non-

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residential lots on 215.91 acres. Lots 1,2 and 3, Block 1, TCC MacArthur Addition, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) within the IH 30 Corridor Overlay District and addressed as 2250 E. IH 30 Service Road.

Item #4 – P210203-Final Plat- Continental Fund 519 Subdivision (City Council District 2). Final Plat for Continental Fund 519 Subdivision, Lot 1, Block A (City Council District 2). Final Plat of Lot 1, Block A, Continental Fund Subdivision, creating a multifamily residential lot on 18.985 acres. Being situated in the Charles D. Ball Survey, Abstract No. 1699 and William H, Beeman Survey, Abstract No. 126, City of Grand Prairie, Dallas County, Texas, zoned PD-405, within the SH-161 Corridor Overlay District, and addressed as 2136 Sarah Jane Parkway.

Item #5 – RP210201 - Replat - Twin Airports Industrial Addition, Lots 30-R2 and 32R, Lot C (City Council District 5). Replat of Lots 30-R2 and 32R, Block C, Twin Airports Industrial Addition, creating two non-residential lots from four on 0.437 acre. Lots 30-R2 and 32R, Block C, Twin Airport Industrial Addition, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) within the Central Business District 3 (CBD 3) and addressed as 2009 and 2017 E. Main Street.

Vice Chairperson Moser moved to approve the minutes, cases P210201, P210202, P210203, RP210201 per staff recommendations.

Motion: Moser

Second: Smith

Ayes: Connor, Moser, Smith, Fedorko, Perez, Coleman, Landrum, Hedin, Spare

Nays: none

Vote: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA: ITEM # 6 – Z201203/CP201202 - Zoning Change/Concept Plan - Grand Prairie Multi-Family (City Council District 3). Chief City Planner Savannah Ware presented the case report and gave a Power Point presentation for a Zoning Change and Concept Plan for a Multi-Family and General Retail development on 31.45 acres. Tract 5, Mercer Fain Survey, Abstract No. 475, City of Grand Prairie, Dallas County, Texas, zoned SF-4 and GR, and located at the northeast corner of E Marshall Dr and S Belt Line Rd.

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Ms. Ware stated the applicant is proposing to create a Planned Development District for General Retail and Multi-Family Uses. The Concept Plan designates 8.5 acres at the south end of the property as General Retail and depicts a 20,000 sq. ft. restaurant and music venue, parking and an outdoor amenity that includes trails, patio, and pavilion area around an existing pond. The Concept Plan designates 23.10 acres as Multi-Family One with a proposed density of 11.26 dwelling units per acre and depicts 11 residential buildings and one clubhouse. The applicant is proposing to construct the first floor of three of the multi-family residential buildings to commercial standards to allow the first floor to be leased to non-residential tenants. The Concept Plan depicts a perimeter fence around the multi-family development with a gated entry and call box off Belt Line Rd. The front portion of three of the buildings are not fenced in to allow the public access should the first floors of these buildings be leased to non-residential tenants. If the first floors are leased as multi-family units, the developer will need to revise the location of the perimeter fence to comply with Appendix W. The Concept Plan depicts pedestrian access points between the two uses to allow people living in the multi-family development access to the outdoor amenities located on Tract 1. As part of this request, the applicant conducted a Traffic Impact Analysis (TIA) to identify traffic generation characteristics and potential impacts on the local street system. The TIA states that the proposed development would result in very minor impact on the local road system. The applicant eliminated the option to turn left from two driveways onto Belt Line to improve the level of service of Driveway 3 and prevent the development from exacerbating the operations of the intersection of Belt Line Rd and Kingston Dr.

The applicant is requesting the following variances:

1. Minimum Side Yard Setback – Variance to the minimum side yard setback for the multi-family development on Tract 2 to allow Building 1 and Building 3 to be constructed within 10 feet of the property line dividing Tract 1 and Tract 2.
2. Parking Calculation – the applicant is proposing an alternative parking calculation ratio for the required multi-family parking spaces. At the unit mix shown on the Concept Plan, the alternative ratio exceeds what is required by the UDC.
3. Masonry Screening Wall – the UDC requires a masonry screening wall on the property line of a commercial development that is adjacent to a multi-family development. The applicant is proposing to construct a wrought iron fence with masonry columns between Tract 1 and Tract 2.

Ms. Ware stated staff is unable to recommend approval of the request because it conflicts with the FLUM.

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Commissioner Perez asked how often does the FLUM get updated. Ms. Ware stated the FLUM was updated in 2010 and 2018.

Joy Frazier, 1719 Ridgemar Dr Grand Prairie TX., stepped forward in opposition to this request. Ms. Frazier presented staff with a petition in opposition of over 200 signatures and will continue to gather more signatures to meet the 20%. She stated concern with tenants from the apartments being able to see into her backyard and crime increasing. She isn't anti the development, but she is anti this development and doesn't want to see anymore dollar or liquor stores.

Cynthia Orozco, 1925 Sheriff Dr. Grand Prairie TX., stepped forward in opposition to this request. She stated she wasn't aware about the proposed development until the day before the meeting. Her and her family have lived here for over 30 years and they are all against this development due to property value, crime, and traffic concerns.

Jose Orozco, 1925 Sheriff Dr. Grand Prairie TX., stepped forward in opposition to this request.

Nichole Schmiedeskamp, 605 Cancun St. Grand Prairie TX., stepped forward in opposition to this request. She purchased her home in 2006 and did so with the knowledge of the parcel being zoned for single family/ retail. She would rather see townhomes or more single-family homes in that area.

Tommy Wilhoite 1929 Sheriff Dr. Grand Prairie TX., stepped forward in opposition to this request. He built his home in 1973 and would like to see high end homes on the parcel instead of more apartments.

Christopher Mendoza 905 Doy Cir. Grand Prairie TX., stepped forward in opposition to this request. He is concerned about the crime rate. He has had personal experiences where crime has been committed and feels like the apartments would just add to it.

Pat Fuller 1756 Ridgemar Dr. Grand Prairie TX. stepped forward in opposition to this request. She stated Donna Lynn Apartments are a mess and to add more apartments would be chaotic. Renters tend to take less concern to where they live. Businesses around there are falling apart and she feels they are being ignored.

Yolanda Nixon 1736 Ridgemar Dr. Grand Prairie TX., stepped forward in opposition to this request. She is the HOA President and has lived there for 16 years. She is concerned about the music venue and retail bringing overflow of parking into their neighborhood.

Patricia Bouillion 2122 Avenue C Grand Prairie TX., stepped forward in opposition to this request. She has lived there for 20 years and would like to remain feeling safe.

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Kehila Gamez 1644 Ridgemar Dr. Grand Prairie TX., stepped forward in opposition to this request. She asked how the city will hold the developer accountable in speaking to the neighborhood. Mr. Connor stated they hold them accountable by bringing them to the board.

Developer, Ravi Mehta 125 E. John Carpenter Frwy. Irving TX., stepped forward representing the case. He stated they have requested to table this case to address citizens concerns and due to COVID it has made it difficult for them to reach out but as of now they have decided to delete the music venue. Mr. Connor stated he should get in contact with Yolanda Nixon (HOA President) to set up a meeting.

Commissioner Connor stated thanked everyone for coming to voice their concerns.

There being no further discussion on the case commissioner Spare moved to close the public hearing and table case Z201203/CP201202 until March 8, 2021 public hearing.

The action and vote recorded as follows:

Motion: Spare

Second: Perez

Ayes: Connor, Moser, Smith, Fedorko, Perez, Coleman, Landrum, Hedin, Spare

Nays: none

Vote: 9-0

Motion: **carried**

ITEM # 7 – Z210203/CP210203 - Planned Development Request - Gilbert Villas (City Council District 1). Senior Planner Dana Woods presented the case report and gave a Power Point presentation for a Planned Development Zoning Request for a townhome development with 96 lots on 8.379 acres. The lot sizes range from 2,250 to 3,866 sq. ft with lot widths of 25 feet and 85-90-foot lot depths. Tracts 4, 6, and 22, Elizabeth Gray Abstract 1680, City of Grand Prairie, Dallas County, Texas, zoned PD-317, partially included within the SH 161 Corridor Overlay District, and addressed as 108 Shady Grove Rd.

Ms. Woods stated the applicant wishes to change the existing PD-317 with Single-Family Detached (6,000 square-foot lots) to Single-Family Townhouse zoning with a minimum lot size of 1,600 square feet. In general, a zoning change allows the existing zoning map to be modified to permit the proposed development. The proposed use is Townhouses with 96 lots on 8.379 acres. The minimum lot size is 1,600 square feet and has varied lot sizes up to 3,000 square feet. The

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applicant has requested variances for the lot area, width and depth along with the side yard on the corner lot which are detailed in the variance section. Each townhome will have a two-car garage and a 25-foot driveway along with a masonry brick exterior. The Concept plan includes 6-foot masonry screening wall along Gilbert Road and Shady Grove Road. Additionally, a playground, covered seating area, detention pond and landscaped areas will be maintained by a homeowner's association.

The applicant is requesting the following variances:

1. Minimum lot area of 1,680-2,999 square feet – Article 6 allows for a maximum of 30% the total lots to be between 1680-2,999 square feet. The applicant is proposing that 91% of the lots within this range.
2. Minimum lot width 21-29 feet – Article 6 allows for a maximum of 30% of the lots to have a minimum lot width between 21-29 feet. The applicant is proposing 78% of the lots within this range.
3. Minimum lot width of 30 feet or greater – Article 6 allows for a minimum of 70% of the lots to have a minimum lot width between of 30 feet or greater. The applicant is proposing 28% of the lots within this range.
4. Minimum lot depth 80-99 feet – Article 6 allows for a maximum of 30% of the lots to have a minimum lot depth between 80-99 feet. The applicant is proposing 98% of the lots within this range.
5. Minimum lot depth 100 feet or greater – Article 6 allows for a minimum of 70% of the lots to have a minimum lot depth of 100 feet or greater. The applicant is proposing 4% of the lots within this range.
6. Minimum side yard on street/corner of 15 feet – Article 6 allows for a minimum side yard on street of 15 feet. The applicant is proposing 10 feet.

Ms. Woods stated Staff cannot recommend approval because the request conflicts with the FLUM and includes a number of variances.

Commissioner Moser took over Chair of the meeting at 7:54 p.m.

At 7:55 p.m. Commissioner Connor was present at the meeting.

Rodney Anderson 548 Edgeview Dr. Grand Prairie TX., stepped forward representing the case. He requested for item to be tabled for two weeks to work with staff on variances.

There being no further discussion on the case commissioner Spare moved to close the public hearing and table case Z210203/CP210203 until March 8, 2021 public hearing.

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The action and vote recorded as follows:

Motion: Spare

Second: Coleman

Ayes: Connor, Moser, Smith, Fedorko, Perez, Coleman, Landrum, Hedin, Spare

Nays: none

Vote: 9-0

Motion: **carried**

Commissioner Moser moved to adjourn the meeting. The meeting adjourned at 7:58 p.m.

Shawn Connor, Chairperson

ATTEST:

Cheryl Smith, Secretary

An audio recording of this meeting is available on request at 972-237-8255.



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, Chief City Planner

TITLE: Approval of Minutes of the February 22, 2021 P&Z meeting

RECOMMENDED ACTION: Approve



**REGULAR PLANNING AND ZONING COMMISSION
MEETING MINUTES
FEBRUARY 22, 2021**

COMMISSIONERS BRIEFING

COMMISSIONERS PRESENT: Chairperson Shawn Connor, Vice-Chairperson Bill Moser, Secretary Cheryl Smith, and Commissioners, Josh Spare, Max Coleman, Eric Hedin, John Fedorko.

COMMISSIONERS ABSENT: Warren Landrum, Julia Perez

CITY STAFF PRESENT: Deputy City Manager, Bill Hills, Rashad Jackson, Planning and Development Director, Savannah Ware, Chief City Planner, Dana Woods, Senior Planner, Charles Lee, Senior Planner, Tiffany Bull, Assistant Attorney, Brett Huntsman, Transportation Planner, Monica Espinoza, Executive Assistant.

Chairperson Shawn Connor called the briefing to order by Video Conference at 5:34 p.m.

AGENDA REVIEW #6 – Moratorium on Multifamily Development. Planning and Development Director Rashad Jackson presented the case report and gave a Power Point presentation for a Public Hearing of an Ordinance providing for a moratorium on the acceptance of any development related applications or permits for property development within the corporate limits of the City for the following uses: single-family attached, single family townhouse, single family – hybrid housing (build to rent), 2-family/duplex, 3&4 family, and multi-family apartment uses.

Commissioner Smith asked if staff could provide the commissioners with a complete multifamily development list. Mr. Jackson stated the list that was given to them last meeting is the most recent up to date list.

Commissioner Moser asked anything submitted to staff after February 19, 2021 cannot proceed until 120 days from Moratorium. Mr. Jackson stated that is correct.

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At 5:44 p.m. Commissioner Perez was present at the meeting.

ITEM #7 – SU210201/S210201 - Specific Use Permit/Site Plan - Lone Star Off Road Park (City Council District 1). Chief City Planner Savannah Ware presented the case report and gave a Power Point presentation for a Specific Use Permit/Site Plan for an Outdoor Amusement Services use on 128.18 acres. The proposed Lone Star Off Road Park will accommodate four-wheel, off-road vehicles. Tracts 14 and 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 1921 and 2401 Hunter Ferrell Rd.

Commissioner Smith asked what the use will be. Ms. Ware stated the developer will create trails for people to drive through with their four wheelers and there are other locations in Texas.

Commissioner Connor asked who came up with this idea. Deputy City Manager, Bill Hills stated it is for off road vehicles to take them off road and no trails will be extremely dangerous. This property is owned by the city and its flood plain and vacant, so he believes this Jeep Park is a perfect use of this property. It will allow people to come out with their jeeps and have fun while helping our economy with them spending their money in our city.

Commissioner Moser asked if the applicant will be paying rent to the city for using the land. Mr. Hills stated yes, the city has a contract with the entity.

ITEM #8 – Z210101/CP210101 - Zoning Change/Concept Plan - PD to Duplexes at 720 W. Polo Rd. (City Council District 6). Senior Planner Charles Lee presented the case report and gave a Power Point presentation for a Zoning Change and Concept Plan creating a Planned Development District with a base zoning of Single Family Attached. The Concept Plan depicts 24 units on 2.911 acres. Tract 11.3, Thomas J Tone Survey, Abstract No. 1460, City of Grand Prairie, Dallas County, Texas, zoned PD-174, and addressed as 720 W Polo Rd.

Commissioner Connor asked what it means zoning doesn't support FLUM. Mr. Lee stated staff tries to be consistent with the future land use map.

COVID Meeting Procedures

Mr. Jackson stated we are going to get in line with city council and for March, Planning and Zoning meetings will take place in person and specified they will follow social distancing rules.

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Mr. Hills stated they have been keeping an eye on COVID numbers and feel like it is at a safe point for in person meetings. Everyone will still have to follow one hundred percent of the COVID protocols and no one who will be presenting will be able to get within six feet of staff.

Commissioner Connor asked will temperatures be taken at the door. Mr. Hills stated there is a temperature reader at the entrance of City Hall.

REGULAR MEETING

COMMISSIONERS PRESENT: Chairperson Shawn Connor, Vice-Chairperson Bill Moser, Secretary Cheryl Smith, and Commissioners, Josh Spare, Julia Perez, Max Coleman, Eric Hedin, John Fedorko.

COMMISSIONERS ABSENT: Warren Landrum

CITY STAFF PRESENT: Rashad Jackson, Planning and Development Director, Savannah Ware, Chief City Planner, Dana Woods, Senior Planner, Charles Lee, Senior Planner, Tiffany Bull, Assistant Attorney, Brett Huntsman, Transportation Planner, Monica Espinoza, Executive Assistant.

Chairperson Shawn Connor called the meeting to order by Video Conference at 6:30 p.m. and Commissioner Moser gave the invocation, and Commissioner Coleman led the pledge of allegiance to the US Flag, and the Texas Flag.

Citizen Comments: None

AGENDA ITEM: #1 - APPROVAL OF MINUTES: To approve the minutes of the Planning and Zoning Commission meeting of February 8, 2021.

CONSENT PUBLIC HEARING AGENDA Item #2 – P210204 - Final Plat - Jefferson at Grand Prairie (City Council District 6). Final Plat of Lot 2, Block 1, Jefferson at Grand Prairie Addition creating one lot for multifamily development. Lot 1, Block 1, Jefferson at Grand Prairie Addition, City of Grand Prairie, Dallas County, Texas zoned PD-400 (Multifamily), and addressed as 1225 IH-20.

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 22, 2021

ITEM #3 – RP210202 - Replat - Florence Hill Addition No. 1, Lots 38R-1 and 38R-2 (City Council District 6). Replat dividing one lot into two; Lots 38R-1 & 38R-2, Florence Hill Addition No. 1, creating two single family detached residential lots on 1.008 acres. Lots 38R-1 and 38R-2, Florence Hill Addition No. 1, City of Grand Prairie, Dallas County, Texas, zoned PD-84 District, and addressed as 918 Alspaugh Lane.

ITEM #4 – RP210203 - Replat - Florence Hill Addition No. 1, Lots 3R-1 and 3R-2 (City Council District 6). Replat dividing one lot into two; Lots 3R-1 & 3R-2, Florence Hill Addition No. 1, creating two single family detached residential lots on 1.009 acres. Lots 3R-1 and 3R-2, Florence Hill Addition No. 1, City of Grand Prairie, Dallas County, Texas, zoned PD-84 District, and addressed as 825 Alspaugh Lane.

ITEM #5 – RP201001 - Replat - Great Southwest - South, Lot 92R (City Council District 1). Replat of Sites 92 and 93, Great Southwest-South, Great Southwest Industrial District Addition, creating one lot out of two. Sites 92 and 93, Great Southwest-South, Great Southwest Industrial District Addition, City of Grand Prairie, Tarrant County, Texas, zoned LI, and addressed as 2610 and 2626 W Pioneer Pkwy.

Vice Chairperson Moser moved to pull the minutes from the consent agenda and table for March 8, 2021 meeting.

Motion: Moser

Second: Coleman

Ayes: Connor, Moser, Smith, Coleman, Hedin, Perez, Fedorko, Spare

Nays: none

Vote: 8-0

Motion: **carried.**

Vice Chairperson Moser moved to approve cases P210204, RP210202, RP210203, RP201001.

Motion: Moser

Second: Coleman

Ayes: Connor, Moser, Smith, Coleman, Hedin, Perez, Fedorko, Spare

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 22, 2021

Nays: none

Vote: 8-0

Motion: **carried.**

PUBLIC HEARING AGENDA: ITEM # 6 – Moratorium on Multifamily Development.

Planning and Development Director Rashad Jackson presented the case report and gave a Power Point presentation for a Public Hearing of an Ordinance providing for a moratorium on the acceptance of any development related applications or permits for property development within the corporate limits of the City for the following uses: single-family attached, single family townhouse, single family – hybrid housing (build to rent), 2-family/duplex, 3&4 family, and multi-family apartment uses.

Mr. Jackson stated Public Hearing of an Ordinance providing for a moratorium on the acceptance of any development related applications or permits for property development within the corporate limits of the City for the following uses: single-family attached, single family townhouse, single family – hybrid housing (build to rent), 2-family/duplex, 3&4 family, and multi-family apartment uses.

- February 18, 2021: First Public Hearing and First Reading of the Ordinance. City Council approved by a vote of 8-0.
- February 22, 2021: Second Public Hearing.
- March 2, 2021: Second Ready of the Ordinance.

Commissioner Spare thanked Rashad and City Council for taking action with the moratorium.

Commissioner Connor echoed Mr. Spares comments.

Commissioner Smith stated she appreciates the time staff has put in this moratorium.

Nichole Schmeideskamp 607 Cancun St Grand Prairie Tx stepped forward in support of this request and asked if Marshall and Beltline project is part of the Moratorium. Mr. Jackson stated those projects were submitted prior to February 18, 2021 and they will continue with their request.

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 22, 2021

Sylvia Gomez 1435 SE 4th St Grand Prairie TX., asked what demographic standards the city requires the developers to present. Mr. Jackson stated staff always gives comments to developers to stay consistent with surrounding development.

There being no further discussion on the case commissioner Smith moved to close the public hearing and make the recommendation for the Moratorium on Multifamily Development.

The action and vote recorded as follows:

Motion: Smith

Second: Perez

Ayes: Connor, Moser, Smith, Coleman, Hedin, Perez, Fedorko, Spare

Nays: none

Vote: 8-0

Motion: **carried**

PUBLIC HEARING AGENDA: ITEM # 7– SU210201/S210201 - Specific Use Permit/Site Plan - Lone Star Off Road Park (City Council District 1). Chief City Planner Savannah Ware presented the case report and gave a Power Point presentation for a Specific Use Permit/Site Plan for an Outdoor Amusement Services use on 128.18 acres. The proposed Lone Star Off Road Park will accommodate four-wheel, off-road vehicles. Tracts 14 and 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 1921 and 2401 Hunter Ferrell Rd.

Ms. Ware stated the applicant intends to open Lone Star Off Road Park, a park for four-wheel, off-road vehicles, on 128.18 acres off Hunter Ferrell Rd. The proposed use, Outdoor Amusement Services, requires a Specific Use Permit. The purpose of the Specific Use Permit process is to identify those uses which might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have potentially negative impact upon surrounding properties; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to eliminate such probable negative impacts. The applicant is proposing to open a park for four-wheel, off-road vehicles. The park will be open seven days a week from dawn until dusk. Trails for the off-road vehicles will be cut through the underbrush. The trails will be six feet in width and vary in the level of difficulty. The proposed entrance to the park is off Levee Rd and will be gated. The applicant is proposing to place a ticket booth and portable restrooms near the entrance.

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 22, 2021

Trash Plan

The applicant plans to use three 55-gallon barrels as trash cans. They will be elevated and mounted on trees. The trash barrels will be emptied each day and the bags placed in a two-yard dumpster near the entrance. The dumpster will have a temporary enclosure with a rock pad.

Evacuation Plan

All of the property is within the floodplain and a significant portion is within the floodway. In the event of a storm and possible flooding, the applicant will load the ticket booth and portable restrooms onto a trailer and remove them from the site. The park will be closed, and the entrance gate locked to prevent access to the site.

Emergency Response Plan

The applicant will place numbered and color-coded markers every 100 feet along the trails. In the event of an emergency, the markers will allow park employees to find the location of park guests.

Lone Star Trail

The entrance to the park crosses the Lone Star Trail. The applicant will be required to install signage warning guests exiting the park to look for trail users. The applicant will be responsible for keeping the trail clear of mud and debris left by vehicles exiting the park.

The site plan depicts a large parking area on the site. The Unified Development Code requires parking areas to be elevated and paved with an approved surface. The applicant is not proposing to make any improvements to the parking area; vehicles would be parking on an unimproved surface.

The Development Review Committee (DRC) recommends approval. The site is currently undevelopable due to the extensive floodplain. Staff finds the proposed use, temporary in nature, could be a feasible use of the property until a plan is established to reclaim the floodplain and possibly develop the site.

Commissioner Connor asked in the event of a flood, is there only one way in and one way out. Ms. Ware stated correct, there is only one entrance. Mr. Connor asked how they will handle emergency situations. Ms. Ware stated they will keep track on how many vehicles enter the trails and make sure everyone is out.

Nichole Schmiedeskamp 607 Cancun St Grand Prairie TX asked what the dust is going to look like in the area with off roading. Ms. Ware stated developer devised the trails to leave as much natural vegetation as possible.

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 22, 2021

Ken Schaumburg 8430 Blue Hebron Ct Fort Worth TX stepped forward representing the case. He stated he thinks it is going to be a great amenity for the city and encourages everyone to come out.

There being no further discussion on the case commissioner Moser moved to close the public hearing and approve case SU210201/S210201 per staff recommendations.

The action and vote recorded as follows:

Motion: Moser

Second: Coleman

Ayes: Connor, Moser, Smith, Coleman, Hedin, Perez, Fedorko, Spare

Nays: none

Vote: 8-0

Motion: **carried**

ITEM # 8– Z210101/CP210101 - Zoning Change/Concept Plan - PD to Duplexes at 720 W. Polo Rd. (City Council District 6). Senior Planner Charles Lee presented the case report and gave a Power Point presentation for a Zoning Change and Concept Plan creating a Planned Development District with a base zoning of Single Family Attached. The Concept Plan depicts 24 units on 2.911 acres. Tract 11.3, Thomas J Tone Survey, Abstract No. 1460, City of Grand Prairie, Dallas County, Texas, zoned PD-174, and addressed as 720 W Polo Rd.

Mr. Lee stated the purpose of the request is to rezone the subject property to a Planned Development District to facilitate a single family attached residential development on 2.91 acres. The subject property is currently zoned PD-174 for General Retail uses. The Concept Plan depicts 11, two-story single family residential attached buildings consisting of 10 duplexes and one triplex. Three common open space areas are provided, with two areas located towards the entryway and another common area located on the north side of the development. A residential street connecting from W. Polo Road provides direct access to the development. The units have front-loaded, double car garages with a landscaped island between each unit's driveway.

The applicant is not requesting any variances.

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 22, 2021

PD-174 district designates the area of this request for Retail uses. The FLUM designates this area as Commercial/Retail/Office. Since the proposal is inconsistent with the FLUM designation, staff is unable to support the request as presented.

Commissioner Moser asked if public notices were sent out for this project and did anyone respond in opposition or support. Mr. Lee stated about 45 notices were sent out and didn't receive any response.

Applicant Olushola Morohunfolo 4225 Palma Dr. Mansfield Tx., stepped forward representing this case, he stated he would like to thank staff for their work and believes this is a great development for this area.

Commissioner Coleman asked is the property currently owned or under contract. Mr. Morohunfolo stated it is currently under contract. Mr. Coleman asked will the duplexes be for sale or rent. Mr. Morohunfolo stated for sale.

Commissioner Moser asked what the average square foot of each unit is.

Ola Banwo 6804 Vero Dr Plano TX., stepped forward representing this case, he stated each unit is a 3 bedroom/3 bathroom 2,600 sq ft for sale.

There being no further discussion on the case commissioner Spare moved to close the public hearing and approve case Z210101/CP210101 per staff recommendations.

The action and vote recorded as follows:

- Motion: Spare
- Second: Smith
- Ayes: Connor, Moser, Smith, Coleman, Hedin, Perez, Fedorko, Spare
- Nays: none
- Vote: 8-0**
- Motion: **carried**

Commissioner Connor moved to adjourn the meeting. The meeting adjourned at 7:46 p.m.

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 22, 2021

Shawn Connor, Chairperson

ATTEST:

Cheryl Smith, Secretary

An audio recording of this meeting is available on request at 972-237-8255.



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Charles Lee, AICP, CBO, Senior Planner

TITLE: P210301– Final Plat – Prairie Gate Ph. 2 Addition, Lots 2 & 3, Block A (City Council District 2). Final Plat creating two non-residential lots on 10.646 acres. Situated in the Thomas J. Tone Survey, Abstract No. 1460, City of Grand Prairie, Dallas County, Texas. Zoned PD-19 and is within IH 32 Corridor Overlay District, addressed as 3930 & 3972 Westcliff Road

RECOMMENDED ACTION: Approve

SUMMARY:

Final Plat for Prairie Gate Ph. 2 Addition, Lots 2 & 3 Block A (City Council District 2). Final Plat of Lots 2-3, Block A, Prairie Gate Ph. 2 Addition, creating a multifamily lot and a non-residential lot on 10.646 acres. Situated in Thomas J. Tone Survey, Abstract No. 1460, City of Grand Prairie, Dallas County, Texas, zoned LI, within the IH-20 Corridor Overlay District, addressed as 3930 & 3972 Westcliff Road.

PURPOSE OF REQUEST:

The purpose of the final plat is to create one multifamily lot and one non-residential lot, show existing easements, and dedicate necessary easements to accommodate development of Lots 2 for a multifamily development and Lot 3 for a commercial office facility.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	PD-305	Single Family Residential
South	PD-19	Multifamily Residential
West	PD-19	Multifamily Residential
East	PD-18	Partially Developed for SF Uses

DENSITY AND DIMENSIONAL REQUIREMENTS:

The lots meet the density and dimensional requirements stated in Article 6 of the Unified Development Code. The following table summarizes the dimensional requirements.

Table 2. Summary of Lot Requirements

Standard	Required	Lot 2	Lot 3	Meets
Min. Area (SF)	15,000	379,406	72,551	Yes
Min. Width (Ft.)	100	876	428	Yes
Min. Depth (Ft.)	150	403	210	Yes
Front Setback (Ft.)	25	25	25	Yes

PLAT FEATURES:

The plat establishes property boundaries for two separate lots (one for a second phase of an existing multifamily complex and one for commercial office space developments). The plat consolidates multiple tracts into two separate lots, depicts existing easements, including a billboard easement, dedicates right-of-way, and establishes easements to accommodate the development of the two properties. The purpose of the plat is to ensure full compliance with UDC standards and regulations. Direct access to Lot 2 & 3 is being provided from commercial driveways along the Westcliff Road.

HISTORY:

- March 17, 2020: City Council approved site plan (Case Number S200302) for 205-Unit multifamily complex on one lot (Lot 2) and an 8,000 SF commercial office development on one lot (Lot 3) on 2.0 acres.
- July 13, 2020: Planning & Zoning Commission approved a Preliminary Plat (Case Number P200703) to establish two lots Prairie Gate PH 2 Addition, Block A, Lots 2 & 3.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

Item 3.



CASE LOCATION MAP

**P210301 - Final Plat
Prairie Gate Addition
Lots 2 and 3, Block A**

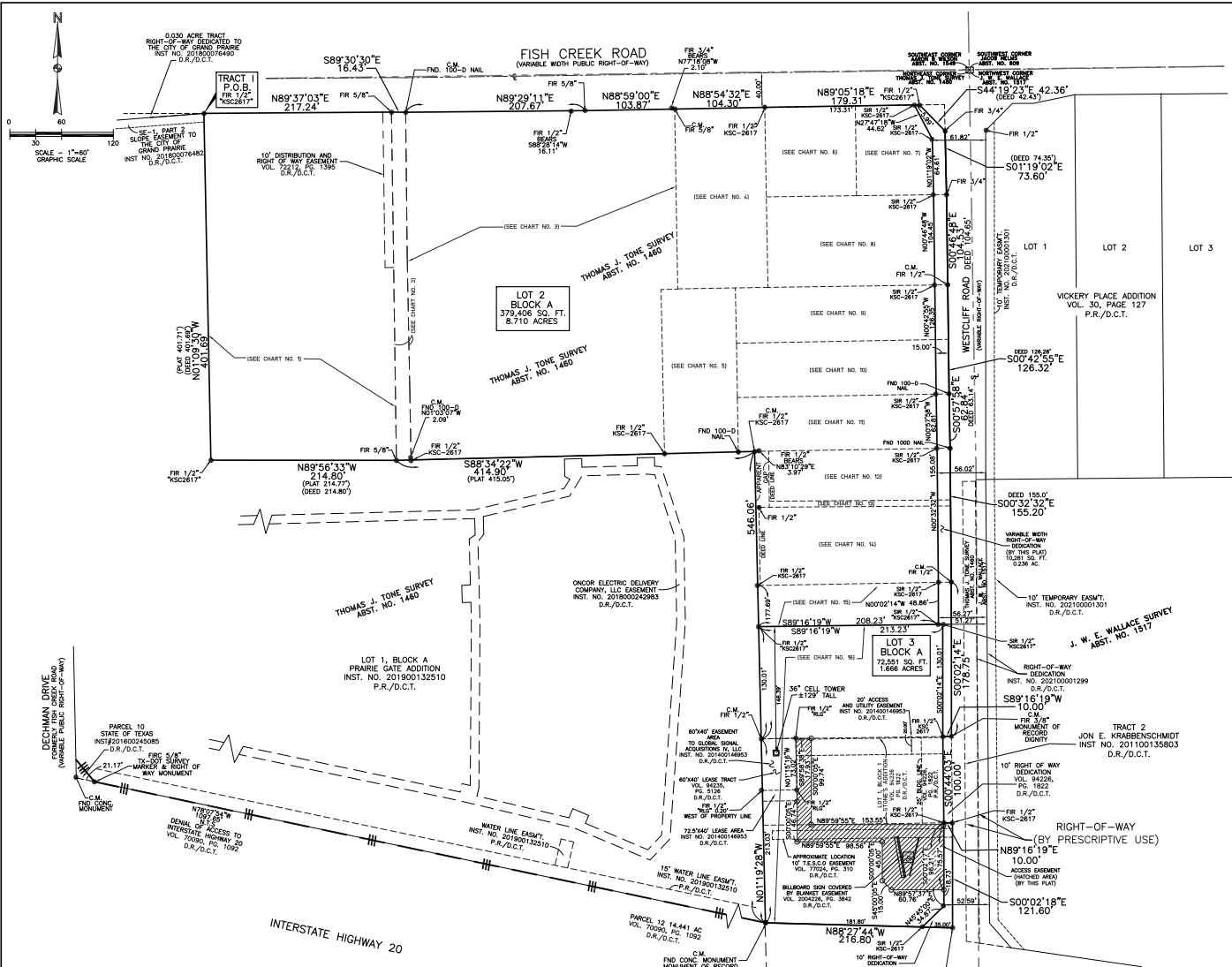


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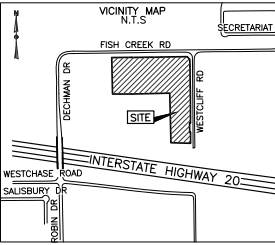
Exhibit B - Final Plat
Page 1 of 2

Item 3.



OWNERSHIP CHART	
NO. 1	1.0646 ACRES DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 2	0.91 ACRES DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 3	TRACT 1 3.64 ACRES DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 4	TRACT 3 0.040-TRACT 16 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 5	0.040-TRACT 25 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 6	0.040-TRACT 14 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 7	0.040-TRACT 14 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 8	0.040-TRACT 14 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 9	0.040-TRACT 23 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 10	0.040-TRACT 23 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 11	0.040-TRACT 21 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 12	0.040-TRACT 11 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 13	0.040-TRACT 11 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 14	0.040-TRACT 11 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 15	0.040-TRACT 11 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.
NO. 16	0.040-TRACT 11 DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC. A TEXAS NONPROFIT CORPORATION INST. NO. 20180007795 D.R./D.C.T.

FINAL PLAT
LOTS 2 AND 3
BLOCK A
PRAIRIE GATE ADDITION PHASE TWO
CONTAINING 463,763 SQ. FT. OR 10.646 ACRES
AN ADDITION TO
THE CITY OF GRAND PRAIRIE,
DALLAS COUNTY, TEXAS
BEING A PLAT OF
10.646 ACRES OF LAND IN THE
THOMAS J. TONE SURVEY
ABSTRACT NO. 1460
CITY OF GRAND PRAIRIE
DALLAS COUNTY, TEXAS



- Surveyor's Notes:
1. C.M. ~ Denotes Controlling Monuments.
 2. I have examined the Flood Insurance Rate Map for the City of Grand Prairie, Dallas County, Texas, Community Panel No. 4811300455, Suffix M, Map Effective Date: 3-21-19, Zone "X", and it appears that no part of the subject property lies in any special flood hazard area.
 3. The basis of Bearing for this survey is the Texas State Plane Coordinate System, NAD83, Texas North Central Zone, 4202, based upon GPS measurements, according to the Leica GPS Reference Network. Distances shown are surface.
 4. Existing or future minimum set-backs established by the city ordinance shall take precedence over building lines indicated on this plat. Zoning classification indicated on this plat reflects zoning in place at the time this plat was approved and do not represent a vested right to the zoning indicated.
 5. The purpose of this plat is to create two lots out of one lot and unplatred tracts of land as shown.
 6. Grading and drainage for each lot is required at time of building permit submittal.
 7. Finish floor elevation for any proposed residence needs to be at least one foot higher than street top of pavement.
 8. This property is located within a cell tower.

OWNERS:
WESTCLIFF ROAD OFFICE, LLC
A TEXAS LIMITED LIABILITY COMPANY
AND
DAVID NICKLAS ORBAN DONOR AWARENESS FOUNDATION, INC.
A TEXAS NONPROFIT CORPORATION
2935 S. BELLEWORTH STREET
GRAND PRAIRIE, TX 75052

PREPARED BY:
KEETON SURVEYING COMPANY
H.B. KEETON M.S. KEETON
REGISTERED PROFESSIONAL LAND SURVEYOR
2037 DALWORTH STREET P.O. BOX 530204
GRAND PRAIRIE, TEXAS 75051-0204
EMAIL: hbk401@bncol.net
PHONE: (972) 641-0843 FAX: (972) 647-0154

DATE: MARCH 30, 2020
REVISED: JUNE 26, 2020
REVISED: JUNE 29, 2020
REVISED: FEBRUARY 10, 2021
REVISED: MARCH 04, 2021
CASE NO. P210301
PAGE 1 OF 2



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Charles Lee, CBO, AICP, Senior Planner

TITLE: P210302 - Preliminary Plat - Cottages at Dechman (City Council District 2). Preliminary Plat of Lot 1, Block A, Cottages at Dechman, creating a multifamily residential lot on 15.902 acres. Lot 1, Block A, Cottages at Dechman, City of Grand Prairie, Dallas County, Texas zoned PD-20 (Multi-Family) and located in the IH-20 Corridor Overlay District, and addressed as 3900 Dechman Drive

RECOMMENDED ACTION: Approve

SUMMARY:

Preliminary Plat for Cottages at Dechman, Lot 1, Block A (City Council District 2). Preliminary Plat of Lot 1, Block A, Cottages at Dechman, creating a multifamily lot on 15.902 acres. Situated in Leonidas Ogwin Survey, Abstract No. 1105, City of Grand Prairie, Dallas County, Texas, zoned PD-20, within the IH-20 Corridor Overlay District, addressed as 3900 Dechman Drive.

PURPOSE OF REQUEST:

The purpose for the preliminary plat is to create one multifamily lot, show existing easements and dedicate necessary easements to accommodate development for a multifamily development.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	PD-20	Fish Creek Forest Preserve
South	PD-26	Commercial Undeveloped
West	PD-20	Fish Creek Forest Preserve
East	PD-19	Multifamily Residential Uses

DENSITY AND DIMENSIONAL REQUIREMENTS:

The lots meet the density and dimensional requirements stated in Article 6 of the Unified Development Code. The following table summarizes the dimensional requirements.

Table 2. Summary of Lot Requirements

Standard	Required	Lot 1	Meets
Min. Area (Sq. Ft.)	15,000	692,705	Yes
Min. Width (Ft.)	100	595	Yes
Min. Depth (Ft.)	150	1,484	Yes
Front Setback (Ft.)	25	25	Yes

PLAT FEATURES:

The plat establishes property boundaries for a multifamily residential lot for a hybrid-housing development consisting of 142 units. The plat depicts the 100-year floodplain boundary, a pipeline easement, and the necessary easement to accommodate the development of the property. The purpose of the plat is to ensure full compliance with UDC standards and regulations. Direct access to the property is provided from Dechman Drive with a secondary point for emergencies from I-20 frontage road.

HISTORY:

- January 5, 2021: City Council approved concept plan (Case Number CP200801) for 142-Unit Hybrid Housing development on one lot 15.91 acres

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

Item 4.



CASE LOCATION MAP
P210302 - Preliminary Plat
Cottages at Dechman



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CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Charles Lee, CBO, AICP, Senior Planner

TITLE: P210303 - Preliminary Plat - Hamilton-Matthew Business Center Lots 1 and 2, Block 1 (City Council District 6). Preliminary Plat of Lots 1 & 2, Block 1, Hamilton-Matthew Business Center Addition, creating two office/warehouse industrial lots on 7.0 acres. Lots 1 & 2, Block 1, Hamilton-Matthew Business Center Addition, City of Grand Prairie, Dallas County, Texas zoned PD-30 (Light Industrial) and is located in the IH-20 Overlay Corridor District. The property is generally located at southeast corner of Bardin Road and Tarrant-Dallas County Line

RECOMMENDED ACTION: Approve

SUMMARY:

Preliminary Plat for Hamilton-Matthew Business Center, Lots 1 and 2, Block 1 creating two non-residential lots on 7.0 acres for office warehouse uses. A 7.0-acre tract situated in the Memucan Hunt Survey Abstract No. 1723, City of Grand Prairie, Dallas County, Texas, zoned PD-30, within the IH-20 Corridor Overlay District, tentatively addressed as 4200 Matthew Rd.

PURPOSE OF REQUEST:

The purpose of the Preliminary Plat is to create two non-residential lots on 7.0 acres to facilitate future office-warehouse development at this location.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-172	Industrial Warehouse Uses
South	PD-30	Undeveloped (Willis Creek)
West	PD-178	Approved for MF Uses (Creekside Apts.)
East	PD-30	Undeveloped (Willis Creek & Overhead Electrical Utility Transmission Easement)

HISTORY:

- December 15, 2020: The City Council approved a Site Plan for Hamilton Matthew Business Center which included two office/warehouse (Case Number S201105).

DENSITY AND DIMENSIONAL REQUIREMENTS:

The lots meet the density and dimensional requirements stated in Article 6 of the Unified Development Code. The following table summarizes the dimensional requirements.

Table 2. Summary of Lot Requirements

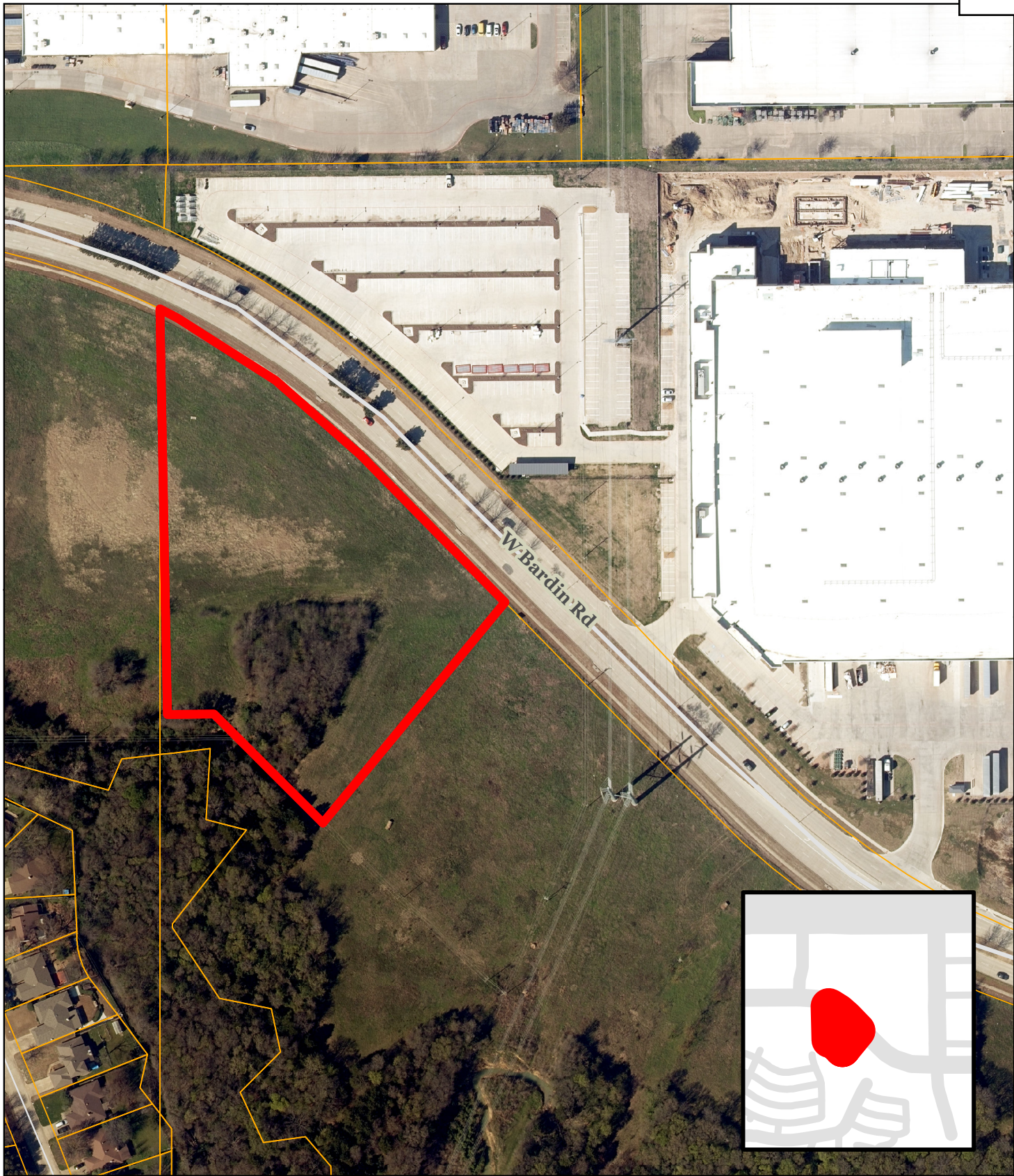
Standard	Required	Lot 1	Lot 2	Meets
Min. Area (Sq. Ft.)	15,000	122,010	182,911	Yes
Min. Width (Ft.)	100	480	600	Yes
Min. Depth (Ft.)	150	495	400	Yes
Front Setback (Ft.)	25	25	25	Yes

PLAT FEATURES:

The plat establishes property boundaries for two separate non-residential lots. The western boundary of the property is the Dallas County-Tarrant County boundary line. The plat depicts existing easements on the property and establishes new easements to accommodate the development. These easements include a five-foot public trail and wall easement along the northwestern portion of the property. The purpose of the plat is to ensure full compliance with UDC standards and regulations. Direct access to Lots 1& 2 is being provided from commercial driveways along the Bardin Road.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



CASE LOCATION MAP

**P210303 - Preliminary Plat
Hamilton-Matthew Business Center
Lots 1 and 2, Block 1**

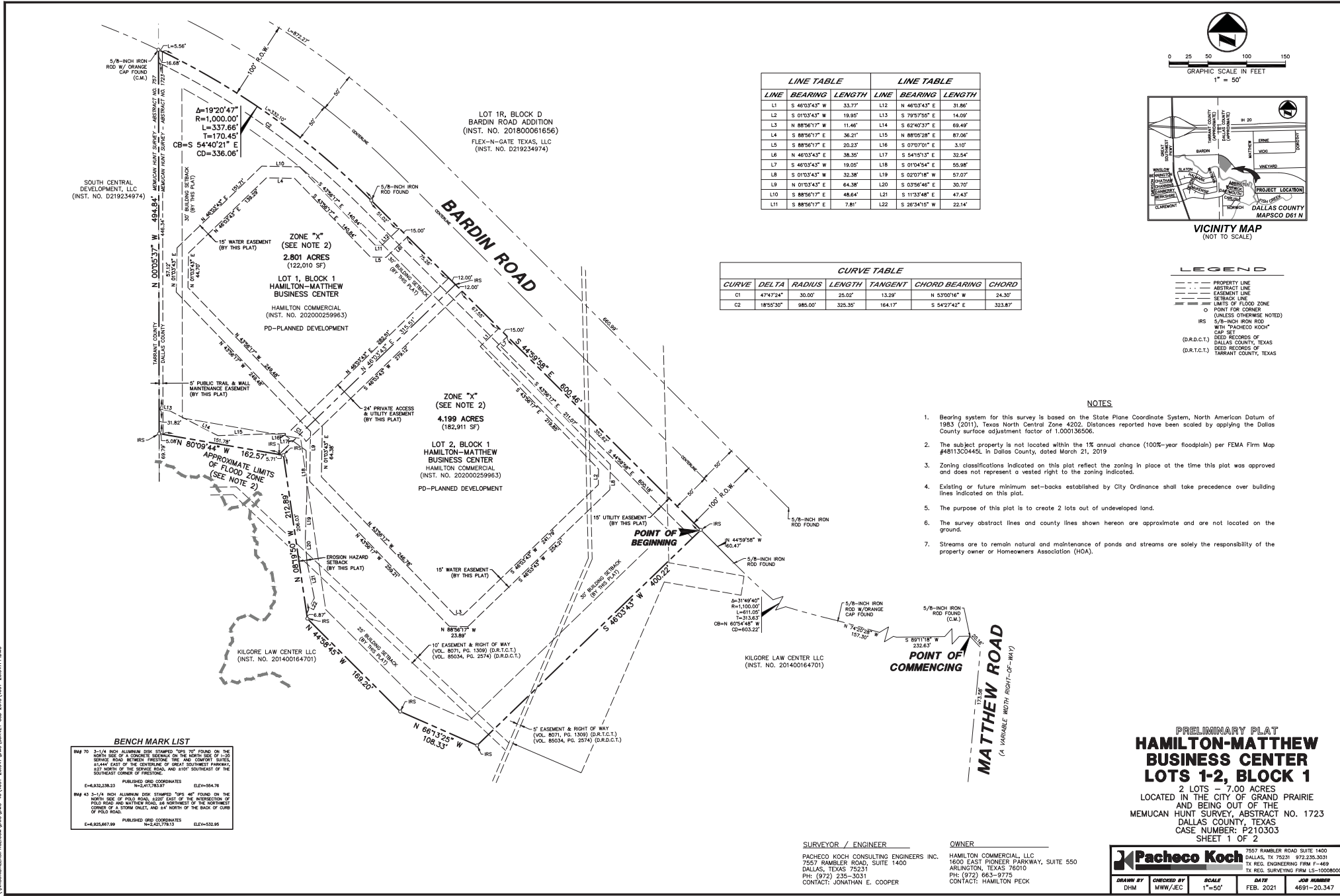


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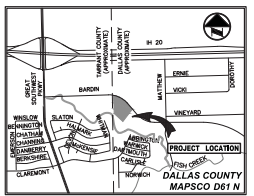
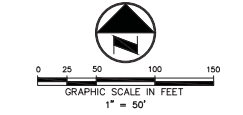
Exhibit B - Preliminary Plat
Page 1 of 2

Item5.



LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S 46°03'43" W	33.77'	L12	N 46°03'43" E	31.86'
L2	S 01°03'43" W	19.95'	L13	S 79°57'50" E	14.09'
L3	N 88°56'17" W	11.46'	L14	S 62°40'37" E	69.49'
L4	S 88°56'17" E	36.21'	L15	N 88°05'28" E	87.06'
L5	S 88°56'17" E	20.23'	L16	S 07°07'01" E	3.10'
L6	N 46°03'43" E	38.35'	L17	S 54°15'13" E	32.54'
L7	S 46°03'43" W	19.05'	L18	S 01°04'54" E	55.98'
L8	S 01°03'43" W	32.38'	L19	S 02°07'18" W	57.07'
L9	N 01°03'43" E	64.38'	L20	S 03°56'40" E	30.70'
L10	S 88°56'17" E	48.64'	L21	S 11°33'48" E	41.43'
L11	S 88°56'17" E	7.81'	L22	S 26°34'15" W	22.14'

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	47°47'24"	30.00'	25.02'	13.29'	N 53°00'16" W	24.30'
C2	18°55'30"	985.00'	325.35'	164.17'	S 54°27'42" E	323.87'



VICINITY MAP
(NOT TO SCALE)

- LEGEND**
- PROPERTY LINE
 - - - ABSTRACT LINE
 - - - EASEMENT LINE
 - - - SETBACK LINE
 - LIMITS OF FLOOD ZONE
 - POINT FOR CORNER (UNLESS OTHERWISE NOTED)
 - 5/8-INCH IRON ROD WITH "PACHECO KOCH" CAP SET
 - (D.R.D.C.T.) DEED RECORDS OF DALLAS COUNTY, TEXAS
 - (D.R.T.C.T.) DEED RECORDS OF TARRANT COUNTY, TEXAS

NOTES

- Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances reported have been scaled by applying the Dallas County surface adjustment factor of 1.0001365506.
- The subject property is not located within the 1% annual chance (100%-year floodplain) per FEMA Firm Map #48113C0445L in Dallas County, dated March 21, 2019.
- Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
- Existing or future minimum set-backs established by City Ordinance shall take precedence over building lines indicated on this plat.
- The purpose of this plat is to create 2 lots out of undeveloped land.
- The survey abstract lines and county lines shown hereon are approximate and are not located on the ground.
- Streams are to remain natural and maintenance of ponds and streams are solely the responsibility of the property owner or Homeowners Association (HOA).

BENCH MARK LIST

BW 70	3-1/4" INCH ALUMINUM DISK STAMPED "025 70" FOUND ON THE NORTH SIDE OF A CONCRETE DRIVEWAY IN THE NORTHWEST CORNER OF THE SERVICE ROAD BETWEEN FREESTONE TIRE AND COMFORT SUITS, 81444 EAST OF THE CENTERLINE OF GREAT SOUTHWEST PARKWAY, 857' NORTH OF THE SERVICE ROAD, AND 8101' SOUTHWEST OF THE SOUTHWEST CORNER OF FREESTONE.	ELEV=554.76
BW 43	3-1/4" INCH ALUMINUM DISK STAMPED "025 43" FOUND ON THE NORTH SIDE OF POLO ROAD, 2300' EAST OF THE INTERSECTION OF POLO ROAD AND MATTHEW ROAD, 24' NORTHWEST OF THE NORTHWEST CORNER OF A STORE OUTLET, AND 34' NORTH OF THE BACK OF CURB OF POLO ROAD.	ELEV=532.95

PRELIMINARY PLAT
HAMILTON-MATTHEW BUSINESS CENTER
LOTS 1-2, BLOCK 1
2 LOTS - 7.00 ACRES
LOCATED IN THE CITY OF GRAND PRAIRIE
AND BEING OUT OF THE
MEMUCAN HUNT SURVEY, ABSTRACT NO. 1723
DALLAS COUNTY, TEXAS
CASE NUMBER: P210303
SHEET 1 OF 2

SURVEYOR / ENGINEER
PACHECO KOCH CONSULTING ENGINEERS INC.
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: (972) 235-3031
CONTACT: JONATHAN E. COOPER

OWNER
HAMILTON COMMERCIAL, LLC
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PH: (972) 663-9775
CONTACT: HAMILTON PECK

Pacheco Koch
7557 RAMBLER ROAD SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-469
TX REG. SURVEYING FIRM LS-0008000

DRAWN BY	CHECKED BY	SCALE	DATE	JOB NUMBER
DHM	MWW/EC	1"=50'	FEB. 2021	4691-20.347

FINAL PLAT - HAMILTON-MATTHEW BUSINESS CENTER, LOTS 1-2, BLOCK 1

Exhibit B - Preliminary Plat
Page 2 of 2

Item 5.

OWNER'S CERTIFICATION

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS, Hamilton Commercial LLC is the owner of 7.000 acre tract of land situated in the Memucan Hunt Survey, Abstract No. 1723 (Dallas County); said tract being all of that certain tract of land in General Warranty Deed to Hamilton Commercial, LLC recorded in Instrument No. 202000269963 of the Official Public Records of Dallas County, Texas; said 7.000 acre parcel being more fully described as follows:

COMMENCING, at a 5/8-inch iron rod found for corner at the northwesterly corner of a corner clip at the intersection of the south right-of-way line of Bardin Road (a variable width right-of-way) and the west right-of-way line of Matthew Road (a variable width right-of-way); said point being a northeast corner of that certain 19.927 acre tract of land in General Warranty Deed to Kigora Law Center recorded in Instrument No. 201400164701 of said Official Public Records;

THENCE, departing the said west line of Matthew Road, along the south and southwesterly line of said Bardin Road and the north line of said 19.927 acre tract, the following four (4) calls:

South 89 degrees, 11 minutes, 18 seconds West, a distance of 232.63 feet to a point;

North 74 degrees, 20 minutes, 28 seconds West, a distance of 157.30 feet to a 5/8-inch iron rod with orange cap found at the beginning of a non-tangent curve to the right;

Along said curve to the right, having a central angle of 31 degrees, 49 minutes, 40 seconds, a radius of 1,100.00 feet, a chord bearing and distance of North 60 degrees, 54 minutes, 48 seconds West, 603.22 feet, an arc distance of 611.05 feet to a 5/8-inch iron rod found at the end of said curve;

North 44 degrees, 59 minutes, 58 seconds West, a distance of 60.47 feet to the POINT OF BEGINNING; said point being a 5/8-inch iron rod with "PACHECO KOCH" cap set at the easternmost corner of said Hamilton Commercial tract;

THENCE, South 46 degrees, 03 minutes, 43 seconds West, departing the said south line of Bardin Road and the north line of said 19.927 acre tract, along the southeast line of said Hamilton Commercial tract, a distance of 400.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

THENCE, along a southwesterly line of said Hamilton Commercial tract, the following four (4) calls:

North 66 degrees, 13 minutes, 25 seconds West, a distance of 108.33 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

North 44 degrees, 58 minutes, 45 seconds West, a distance of 169.20 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

North 08 degrees, 19 minutes, 50 seconds West, a distance of 212.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

North 80 degrees, 09 minutes, 44 seconds West, a distance of 162.57 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner in the west line of said 19.927 acre tract; said point being the westernmost southwest corner of said Hamilton Commercial tract and in the east line of that certain tract of land described in Special Warranty Deed to South Central Development, LLC recorded in Instrument No. D219234974 of the Official Public Records of Tarrant County, Texas;

THENCE, North 00 degrees, 05 minutes, 37 seconds West, along the west line of said 19.927 acre tract, the west line of said Hamilton Commercial tract, and the east line of said South Central Development tract, a distance of 494.84 feet to a 5/8-inch iron rod with orange cap found for corner in the said south line of Bardin Road; said point being the northwest corner of said 19.927 acre tract, the northwest corner of said Hamilton Commercial tract, and the most easterly northeast corner of said South Central Development tract; said point being the beginning of a non-tangent curve to the right;

THENCE, departing the said west line of 19.927 acre tract, the west line of said Hamilton Commercial tract, and the east line of said South Central Development tract, and along the said southwest line of Bardin Road, the northwest line of said 19.927 acre tract, and the northwest line of said Hamilton Commercial tract, the following two (2) calls:

Along said curve to the right, having a central angle of 19 degrees, 20 minutes, 47 seconds, a radius of 1,000.00 feet, a chord bearing and distance of South 54 degrees, 40 minutes, 21 seconds East, 336.06 feet, an arc distance of 337.66 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set at the end of said curve;

South 44 degrees, 59 minutes, 58 seconds East, a distance of 600.46 feet to the POINT OF BEGINNING;

CONTAINING: 304,921 square feet or 7.000 acres of land, more or less.

SURVEYOR CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Jonathan E. Cooper, Registered Public Surveyor, hereby certify that I have prepared this plat from an actual on-the-ground survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the plotting rules and regulations of the City of Grand Prairie, Texas.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELED UPON AS A FINAL SURVEY DOCUMENT.
RELEASED: 5/22/21

Jonathan E. Cooper
Registered Professional Land Surveyor
No. 5369

NOTARY CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for the said Dallas County and for the State of Texas, on this day personally appeared Jonathan E. Cooper, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this _____ day of _____, 2021.

Notary's Signature Stamp

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Hamilton Commercial LLC does hereby adopt this plat designating the hereon above described property as HAMILTON-MATTHEW BUSINESS CENTER, an addition to the City of Grand Prairie, Texas and does hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water management areas shown thereon. The easements shown thereon are hereby dedicated and reserved for the purposes as indicated. The utility, access, GPS monuments and fire lane easements shall be open to the public and private utilities for each particular use. The maintenance of paving on the utility, access and fire lane easements is the responsibility of the property owner. No buildings or other improvements, including fences, shall be permitted in an erosion hazard easement. No buildings or other improvements or growths, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinances. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

HAMILTON COMMERCIAL, LLC
a Texas limited liability company

By: Hamilton Peck, Manager

NOTARY CERTIFICATE

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the said _____ County and for the State of Texas, on this day personally appeared Hamilton Peck, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this _____ day of _____, 2021.

Notary's Signature Stamp

PRELIMINARY PLAT
HAMILTON-MATTHEW
BUSINESS CENTER
LOTS 1-2, BLOCK 1
2 LOTS — 7.00 ACRES
LOCATED IN THE CITY OF GRAND PRAIRIE
AND BEING OUT OF THE
MEMUCAN HUNT SURVEY, ABSTRACT NO. 1723
DALLAS COUNTY, TEXAS
CASE NUMBER: P210303
SHEET 2 OF 2

SURVEYOR / ENGINEER

PACHECO KOCH CONSULTING ENGINEERS INC.
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: (972) 235-3031
CONTACT: JONATHAN E. COOPER

OWNER

HAMILTON COMMERCIAL, LLC
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PH: (972) 663-9775
CONTACT: HAMILTON PECK

Pacheco Koch		7557 RAMBLER ROAD SUITE 1400 DALLAS, TX 75231 972.235.3031
		TX REG. ENGINEERING FIRM # 469
		TX REG. SURVEYING FIRM LS-1000800
DRAWN BY	CHECKED BY	SCALE
DHM	MWW/EC	NONE
		DATE
		FEB. 2021
		JOB NUMBER
		4691-20.347

FINAL PLAT - HAMILTON-MATTHEW BUSINESS CENTER LOTS 1-2, BLOCK 1

D:\ONE... 5_21_21
N:\CADD\PLATS\PLAT\DWG\DWG-461\M81-20.347\DWG\SURVEY_CSD_2018\M81-20.347.PLT.DWG



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/8/2021
REQUESTER: Monica Espinoza, Executive Assistant
PRESENTER: Dana Wood, AICP, Senior Planner
TITLE: P210304 - Final Plat - Heritage Towne (City Council District 6). Final Plat for 103 residential lots, 7 open space lots, 12 private street and alley lots, and 1 amenity center lot on 39.636 acres.

RECOMMENDED ACTION: Staff recommends approval.

SUMMARY:

Final Plat for 103 residential lots, 7 open space lots, 12 private street and alley lots, and 1 amenity center lot on 39.636 acres. Heritage Towne Addition includes a Homeowners Association (HOA) and a Public Improvement District (PID) in the City of Grand Prairie, Dallas County, Texas, PD-399A approximately located north of the intersection of Highway 287 and Davis Road.

PURPOSE OF REQUEST:

The purpose of this Final Plat is to establish all lots, utility easements, public right-of-way and private right-of-way to establish this residential subdivision.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Table with 3 columns: Direction, Zoning, Existing Use. Rows include North (PD-322A, Residential and Mixed Use), South (City of Mansfield, Hwy 287, Vacant), West (City of Mansfield, Highway 360 Vacant), and East (A, Vacant).

HISTORY:

- April 21, 2020: City Council approved a Zoning Change (Case Number Z200401) creating a PD-399A, a Planned Development District for Single Family, Multi-Family, and Open Space Uses.
- November 17, 2020: City Council approved a Planned Development Amendment (Case Number Z200401A) modifying PD-399A to add General Retail to the Planned Development District for Single Family, Multi-Family, and Open Space Uses.
- August 24, 2020: The Planning and Zoning Commission approved the Preliminary Plat (Case Number P200801) allowing a Final Plat to be submitted.

PLAT FEATURES:

This Final Plat for 103 single-family lots features 45 SF-4 (7,200 square feet) and 58 rear entry SF-6 (5,000 square feet) lots. The development also has seven open space lots along with a single lot for an amenity center. The remaining 12 lots accommodate private streets and alleys. The subject plat depicts the necessary internal utility easements and meets applicable dimensional standards.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with the condition that it shall adhere to the standards set forth in the Unified Development Code (UDC).

Exhibit A - Location Map
Page 1 of 1

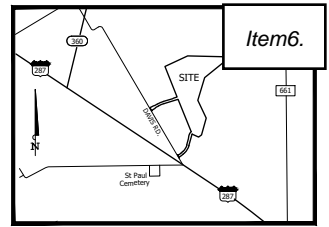
Item 6.



CASE LOCATION MAP
P210304 - Final Plat
Heritage Towne



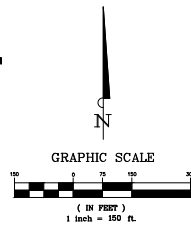
City of Grand Prairie
Development Services
☎ (972) 237-8255
🌐 www.gptx.org



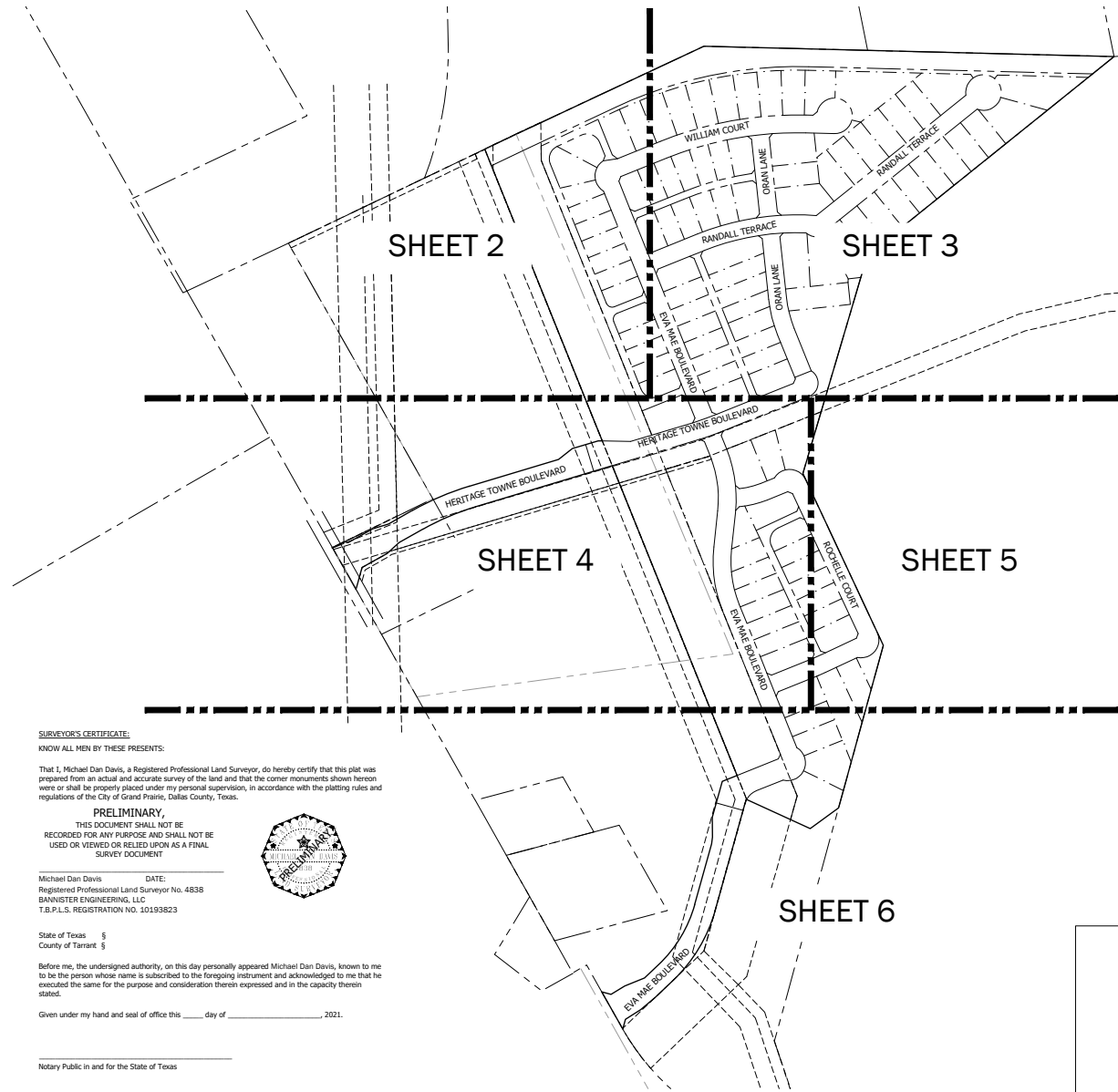
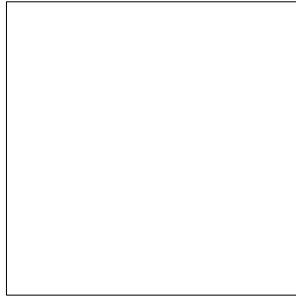
VICINITY MAP
NOT TO SCALE
GRAND PRAIRIE, TEXAS

GENERAL NOTES:

- All bearings shown herein are Texas State Plane Coordinate System, NAD83 (2011), Texas North Central Zone (4202) and are relative to the City of Grand Prairie GPS Control System. All distances shown herein are surface distances.
- According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48130C025F, dated June 3, 2013. The property appears to lie within Zone "X" and the entire property lies within a "Areas determined to be outside the 0.2% annual chance floodplain" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.
- The subject property is not located within the 100 year flood plain per FIRM Panel # 48130C025F, dated June 3, 2013. Where applicable and prior to construction, submit certification by a professional that site does not have wetlands and other waters of the United States, an investigation showing that site development will not impact wetlands and other waters of the United States, or a permit for proposed activities in wetlands and other waters of the United States. Wetlands and other waters of the United States are as defined in Section 404 of the Clean Water Act. All delineation's shall certify that they were conducted per U.S. Army Corps of Engineers' requirements. An agreement stipulating that the owner is responsible for maintenance of any wetland mitigation areas is required prior to construction.
- The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".
- All lot corners (Original Monumentation) shall be iron rods set and/or found (IRS and/or IRF) are 5/8-inch with a red plastic cap stamped "RPLS 4336".
- Existing or future minimum set-backs established by City Ordinance shall take precedence over building lines indicated on this plat.
- Ownership references shown herein are based on the Ellis County Appraisal District's web page data (www.elliscad.org).
- The property is currently Zoned Planned Development No. 328, City Ordinance No. 7937, Case No. 2080701 & CP980701. Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
- SOURCE BENCHMARK: City of Grand Prairie Monument 68, being a top security rod monument with aluminum cap stamped "GPS 68" found in well with aluminum access cover located on the West side of FM Road 661, 6.5 feet off the edge of asphalt pavement, 167'-1" South of Lakeview Drive.
Elevation = 539.85'
- Private streets and alleys must be constructed and maintained by the property owners association. Private streets must conform to the City's standards for Public Street and alley right-of-way. An easement covering the street lot shall be granted to the City providing unrestricted use of the property for utilities and storm drainage systems and the maintenance of the same. This right shall extend to all utility providers including telephonicable companies, operating within the City. The easement shall also provide the City with the right of access for any purpose related to the exercise of a governmental service or function, including but not limited to fire and police protection, inspection and code enforcement. The easement shall permit the City to remove any vehicle or obstacle within the street that impairs emergency access. Variation to streets and right-of-way widths must be approved by the City Planning and Zoning Commission.
- Existing of future minimum set-backs established by city ordinance shall take precedence over building lines indicated on this plat.
- Sidewalks are required along all street frontages.
- The following lots are designated as open space or as a landscape and screening buffer, and are dedicated to and maintained by the Home Owner's Association:
Block A, Lot 27X, Lot 38X and Lot 53X
Block D, Lot 16X
Block E, Lot 1X
Block F, Lot 2X
Block G, Lot 1X
The following lot is designated as an Amenity Center Lot, and is dedicated and maintained by the Home Owner's Association:
Block F, Lot 1X
- REFER TO THE DECLARATIONS OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR HERITAGE TOWNE FOR SIDEWALK AND LANDSCAPE MAINTENANCE RESPONSIBILITY.
- REFER TO THE DECLARATIONS OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR HERITAGE TOWNE PUBLIC IMPROVEMENT DISTRICT CC#_____ FOR PRIVATE STREET MAINTENANCE RESPONSIBILITY.



CITY APPROVAL SPACE:



KEY MAP
SCALE: 1" = 150'

SURVEYOR'S CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS:

That I, Michael Dan Davis, a Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual and accurate survey of the land and that the corner monuments shown herein were or shall be properly placed under my personal supervision, in accordance with the plotting rules and regulations of the City of Grand Prairie, Dallas County, Texas.

PRELIMINARY,

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT



Michael Dan Davis DATE:
Registered Professional Land Surveyor No. 4838
BANNISTER ENGINEERING, LLC
T.B.P.L.S. REGISTRATION NO. 10193823

State of Texas §
County of Tarrant §

Before me, the undersigned authority, on this day personally appeared Michael Dan Davis, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2021.

Notary Public in and for the State of Texas

My Commission expires: _____

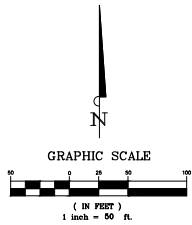
BANNISTER ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBLPS REGISTRATION NO. 10193823 PROJECT No.: 116-20-005

Case # P210304
FINAL PLAT
HERITAGE TOWNE
Being 39.636 acres out of the Joseph Lawrence Survey, Abstract Number 616
City of Grand Prairie, Ellis County, Texas
103 Residential Lots, 7 Open Space Lots, 12 Private Street and Private Alley Lots & 1 Amenity Center Lot
Preparation Date: September 2020
Revision Date: March 2021
SHEET 1 OF 6
ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com
OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT LLC
2935 SOUTH BELTLINE ROAD
GRAND PRAIRIE, TEXAS 75052

S:\03001016_Area\mms - Corporations\116-20-005 - 17 AC Residential Design\Survey\16-100005 Survey Area.dwg 11/19/2020 10:58:05 AM

Exhibit B - Final Plat Page 2 of 6

Item 6.



Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	166.60	750.00	12°43'37"	N66° 53' 53"E	166.25'
C2	52.18'	1000.00'	2°59'23"	N71° 46' 00"E	52.17'
C3	36.69'	1000.00'	2°06'07"	N69° 13' 15"E	36.68'
C4	63.68'	40.50'	90°05'30"	N33° 07' 26"E	57.32'
C5	96.60'	350.00'	15°48'47"	N14° 00' 55"W	96.29'
C6	75.40'	48.00'	90°00'00"	S66° 55' 19"E	67.88'
C7	73.72'	48.00'	86°48'19"	S21° 28' 51"W	65.96'
C8	78.07'	48.00'	93°11'41"	N68° 31' 09"W	69.75'
C9	48.53'	40.50'	68°39'08"	N12° 24' 15"E	45.68'
C10	15.09'	40.50'	21°20'52"	N57° 24' 15"E	15.00'
C11	276.99'	1000.00'	15°52'14"	N76° 00' 48"E	276.11'
C12	131.14'	1000.00'	7°30'50"	N87° 42' 20"E	131.05'
C13	69.16'	103.50'	38°07'33"	N69° 51' 17"E	67.89'
C14	238.35'	860.00'	15°52'40"	S76° 01' 05"W	237.59'
C15	199.71'	720.00'	15°53'34"	S76° 01' 28"W	199.07'
C16	124.98'	720.00'	9°56'45"	S88° 56' 37"W	124.83'
C17	26.48'	35.50'	42°44'15"	S72° 32' 52"W	25.87'
C18	132.61'	350.00'	21°42'29"	N11° 04' 04"W	131.82'
C19	94.28'	250.00'	21°38'30"	N78° 58' 55"E	93.73'
C20	61.31'	40.50'	86°43'44"	S68° 27' 28"E	55.62'
C21	75.40'	48.00'	90°00'00"	S19° 54' 24"W	67.88'
C22	38.76'	350.00'	6°20'40"	N2° 57' 30"E	38.74'
C23	63.62'	40.50'	90°00'00"	S19° 54' 24"W	57.28'
C24	19.37'	350.00'	3°10'17"	S66° 29' 33"W	19.37'
C25	171.36'	350.00'	28°03'09"	N7° 53' 44"W	169.66'
C26	63.62'	40.50'	90°00'00"	N23° 04' 41"E	57.28'
C27	64.61'	66.02'	56°04'22"	S43° 53' 05"W	62.06'
C28	214.63'	400.00'	30°44'36"	S30° 56' 41"W	212.06'
C29	556.67'	1200.00'	26°34'45"	S78° 10' 23"W	551.69'
C30	552.63'	1190.00'	26°34'45"	N78° 10' 23"E	547.10'
C31	26.20'	101.50'	14°47'18"	N65° 52' 02"E	26.12'
C32	25.55'	99.00'	14°47'18"	S65° 52' 02"W	25.48'
C33	15.15'	99.50'	8°43'16"	S77° 37' 19"W	15.13'
C34	38.05'	250.00'	8°43'16"	N77° 37' 19"E	38.02'
C35	59.75'	390.00'	8°46'39"	N53° 58' 50"E	59.69'

TODDICO GP LLC
INSTRUMENT NUMBER 1900187
O.P.R.E.C.T.

CITY OF GRAND PRAIRIE WATER MAIN EASEMENT
INSTRUMENT NUMBER 1815292
O.P.R.E.C.T.

FOUND CONCRETE MONUMENT

50' DPW MIDSTREAM SERVICES, LLC EASEMENT
VOLUME 2436, PAGE 123
D.R.E.C.T.

150' TEXAS ELECTRIC SERVICE COMPANY EASEMENT
VOLUME 557, PAGE 50
D.R.E.C.T.

WILLIAM TELFORD AND WIFE,
KAY TELFORD
VOLUME 738, PAGE 371
D.R.E.C.T.

LEGEND

- N NORTH
- S SOUTH
- E EAST
- W WEST
- DEGREES
- ' MINUTES/FEET
- " SECONDS/INCHES
- D.R.E.C.T. DEED RECORDS ELLIS COUNTY, TEXAS
- P.R.E.C.T. PLAT RECORDS ELLIS COUNTY, TEXAS
- STREET NAME CHANGE

SEE SHEET NO. 4

SEE SHEET NO. 4

SEE SHEET NO. 4

SEE SHEET NO. 4

SEE SHEET NO. 4

Line Table

Line #	Length	Direction
L1	221.42'	N60° 32' 04"E
L2	251.94'	N73° 15' 41"E
L3	113.32'	N88° 10' 11"E
L4	111.44'	N68° 10' 11"E
L6	127.24'	N21° 55' 19"W
L7	206.55'	N6° 06' 31"W
L8	140.00'	N6° 06' 31"W
L9	140.00'	N6° 06' 31"W
L10	13.46'	N17° 17' 52"W
L11	577.32'	N51° 10' 45"E
L12	16.59'	S88° 32' 15"E
L13	133.87'	N88° 04' 41"E
L14	88.84'	N21° 55' 19"W
L15	74.87'	S64° 53' 00"W
L16	449.15'	S21° 55' 19"E
L17	145.00'	N68° 04' 41"E
L18	4.44'	N60° 55' 19"W
L19	99.50'	N21° 55' 19"W
L20	140.00'	N21° 55' 19"W
L21	174.37'	S68° 04' 41"W
L22	87.26'	N21° 55' 19"W
L23	150.00'	N68° 04' 41"E
L24	24.37'	N68° 04' 41"E
L26	280.00'	N21° 55' 19"W
L27	489.19'	S21° 55' 19"E
L28	116.48'	N21° 55' 19"W
L29	97.00'	N68° 04' 41"E
L30	80.22'	N21° 55' 19"W
L34	11.38'	N7° 03' 45"E
L33	55.36'	S25° 05' 36"E
L35	367.61'	S25° 05' 36"E
L36	103.00'	S64° 54' 24"W
L37	101.56'	N6° 07' 50"E
L38	242.47'	N21° 55' 19"W
L39	10.66'	S56° 23' 11"E
L40	110.50'	S64° 54' 24"W
L41	3.54'	S64° 54' 24"W
L42	156.88'	S68° 04' 41"W
L43	189.64'	N21° 55' 19"W
L44	0.74'	S61° 49' 11"E
L45	100.73'	S68° 04' 41"W
L46	91.30'	S15° 34' 23"W
L47	32.51'	S0° 29' 52"E
L48	191.21'	S15° 34' 23"W
L51	14.71'	N23° 40' 11"E

Line Table

Line #	Length	Direction
L52	14.15'	S66° 52' 34"E
L55	14.13'	N23° 07' 26"E
L56	14.15'	S66° 52' 34"E
L57	14.13'	N23° 07' 26"E
L58	14.14'	N66° 55' 19"W
L59	14.14'	N23° 04' 41"E
L62	14.73'	S20° 36' 32"W
L64	14.14'	S23° 04' 41"W
L65	14.14'	S66° 55' 19"E
L66	14.14'	S23° 04' 41"W
L67	14.14'	S66° 55' 19"E
L68	14.14'	S23° 04' 41"W
L69	14.83'	N69° 19' 55"E
L70	25.89'	S76° 34' 44"E
L71	13.93'	N51° 57' 39"W
L72	14.38'	N37° 56' 10"E
L73	13.90'	N52° 05' 10"W
L74	13.92'	S39° 48' 08"W
L75	14.41'	N37° 46' 33"E
L76	14.43'	N89° 54' 59"W
L77	13.82'	S60° 10' 10"W
L78	13.84'	S52° 18' 16"E
L79	14.14'	N23° 04' 41"E
L80	14.14'	N66° 55' 19"W
L81	15.00'	N35° 24' 27"W
L82	12.50'	N38° 19' 57"E
L83	14.13'	S49° 54' 21"E
L84	15.14'	S45° 06' 42"W
L85	14.54'	N68° 27' 28"W
L86	14.14'	N19° 54' 24"E
L87	14.14'	N70° 05' 36"W
L88	14.14'	N19° 54' 24"E
L89	14.14'	S70° 05' 36"E
L90	13.89'	N20° 54' 59"E
L91	14.14'	S66° 55' 19"E
L92	14.14'	S23° 04' 41"W
L93	14.14'	S23° 04' 41"W
L94	34.72'	S73° 15' 41"E
L102	65.68'	S81° 58' 57"W
L104	138.22'	N73° 15' 41"E
L105	89.03'	S58° 33' 35"W
L106	36.65'	S46° 18' 59"W

Case # F210304

FINAL PLAT
HERITAGE TOWNE
Being 39.636 acres out of the
Joseph Lawrence Survey, Abstract Number 616
City of Grand Prairie, Ellis County, Texas

103 Residential Lots, 7 Open Space Lots, 12 Private Street
and Private Alley Lots & 1 Amenity Center Lot
Preparation Date: September 20, 2020
Revision Date: March 2021
SHEET 2 OF 6

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT, LLC
2935 SOUTH BELLLINE ROAD
GRAND PRAIRIE, TEXAS 75052

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBLPS REGISTRATION NO. 10193823 PROJECT No.: 116-20-005

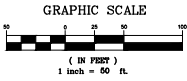
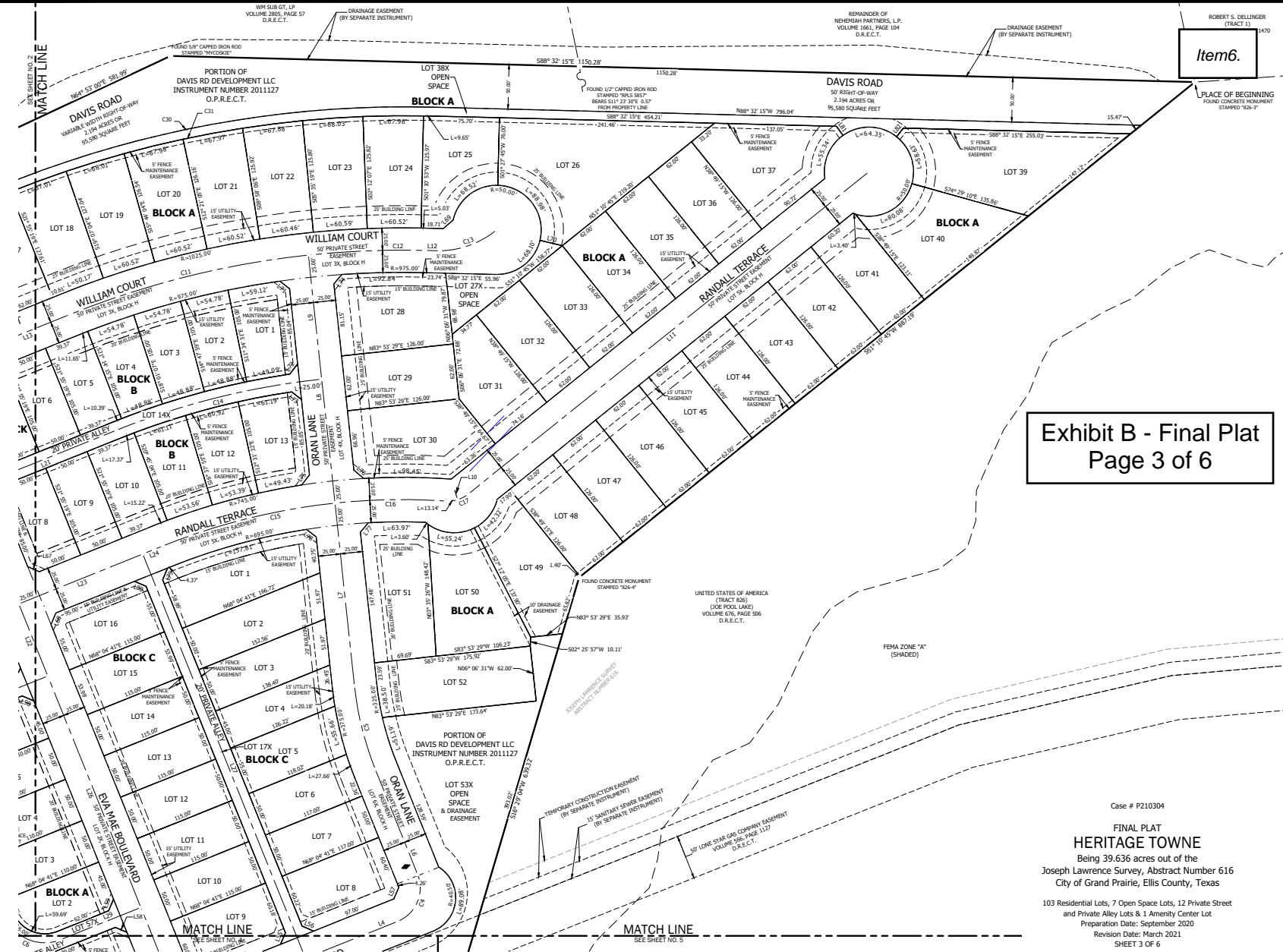


Exhibit B - Final Plat
Page 3 of 6

Item 6.



LEGEND
 N NORTH
 S SOUTH
 E EAST
 W WEST
 ° DEGREES
 ' MINUTES / FEET
 " SECONDS / INCHES
 D.R.E.C.T. DEED RECORDS ELLIS COUNTY, TEXAS
 P.R.E.C.T. PLAT RECORDS ELLIS COUNTY, TEXAS
 — STREET NAME CHANGE

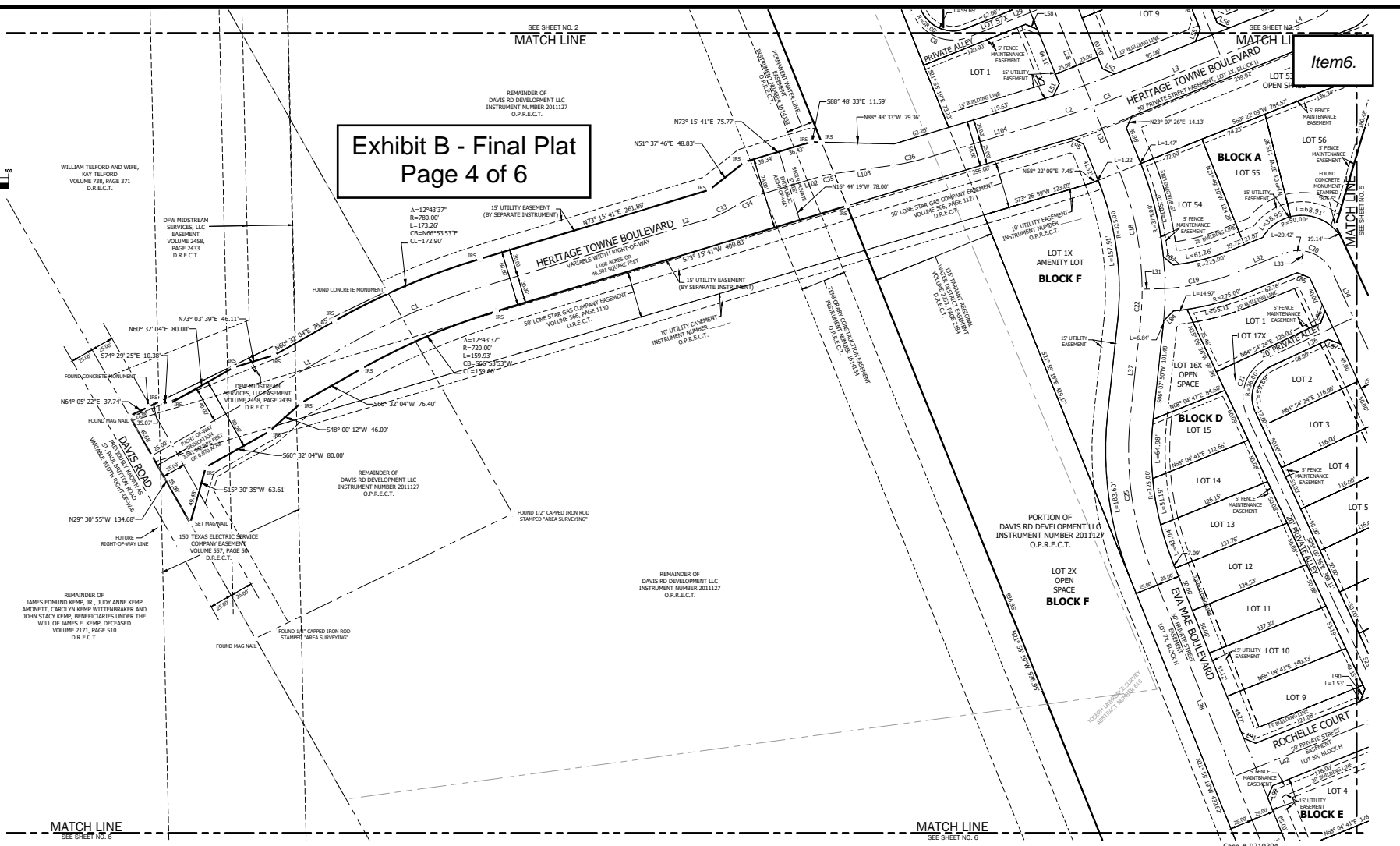
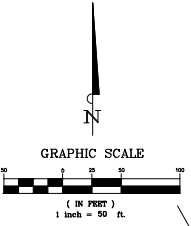
Case # P210304
FINAL PLAT
HERITAGE TOWNE
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 City of Grand Prairie, Ellis County, Texas
 103 Residential Lots, 7 Open Space Lots, 12 Private Street
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 SHEET 3 OF 6

SEE SHEET NO. 2
MATCH LINE

SEE SHEET NO. 4
MATCH LINE

Item 6.

Exhibit B - Final Plat Page 4 of 6



MATCH LINE
SEE SHEET NO. 6

MATCH LINE
SEE SHEET NO. 6

Case # F210304

LEGEND

- N NORTH
- S SOUTH
- E EAST
- W WEST
- DEGREES
- MINUTES/FEET
- SECONDS/INCHES

D.R.E.C.T.
DEED RECORDS
ELLIS COUNTY, TEXAS

P.R.E.C.T.
PLAT RECORDS
ELLIS COUNTY, TEXAS

— STREET NAME CHANGE

**FINAL PLAT
HERITANCE TOWNE**
Being 39.636 acres out of the
Joseph Lawrence Survey, Abstract Number 616
City of Grand Prairie, Ellis County, Texas

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and Private Alley Lots & 1 Amenity Center Lot
Preparation Date: September 2020
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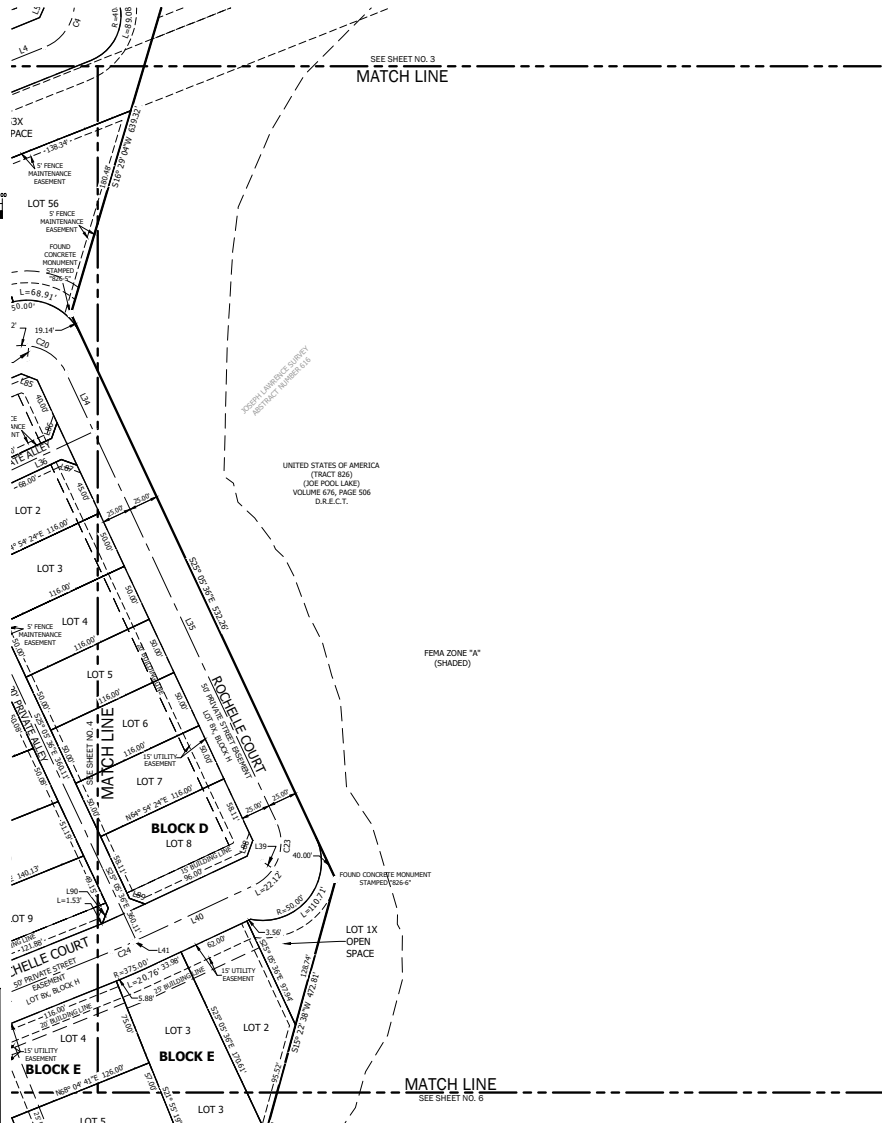
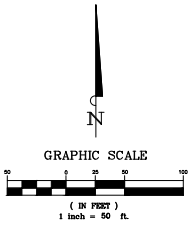
SHEET 4 OF 6

**BANNISTER
ENGINEERING**
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBPLS REGISTRATION NO. 10193823 PROJECT No.: 116-20-005

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT LLC
2935 SOUTH BELTLINE ROAD
GRAND PRAIRIE, TEXAS 75052

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LEGEND

- N NORTH
- S SOUTH
- E EAST
- W WEST
- DEGREES
- MINUTES/FEET
- SECONDS/INCHES
- D.R.E.C.T., DEED RECORDS ELLIS COUNTY, TEXAS
- P.R.E.C.T., PLAT RECORDS ELLIS COUNTY, TEXAS
- ◀ STREET NAME CHANGE

BLOCK A			
Lot Area Table			
Parcel #	Square Feet	Acreage	Zoning
1	10177	0.234	SF-6
2	5690	0.131	SF-6
3	5500	0.126	SF-6
4	5500	0.126	SF-6
5	5500	0.126	SF-6
6	5934	0.136	SF-6
7	5934	0.136	SF-6
8	5500	0.126	SF-6
9	5500	0.126	SF-6
10	5500	0.126	SF-6
11	5500	0.126	SF-6
12	5500	0.126	SF-6
13	5438	0.125	SF-6
14	9579	0.220	SF-6
15	6863	0.158	SF-6
16	8128	0.187	SF-4
17	7881	0.181	SF-4
18	8136	0.187	SF-4
19	8148	0.187	SF-4
20	8118	0.186	SF-4
21	8097	0.186	SF-4
22	8076	0.185	SF-4
23	8090	0.186	SF-4
24	8087	0.186	SF-4
25	8704	0.200	SF-4
26	19563	0.449	SF-4
27 X	3802	0.087	N/A
28	10881	0.250	SF-4
29	7812	0.179	SF-4
30	11581	0.266	SF-4
31	8136	0.187	SF-4
32	7812	0.179	SF-4
33	7812	0.179	SF-4
34	7812	0.179	SF-4
35	7812	0.179	SF-4
36	7812	0.179	SF-4
37	11858	0.272	SF-4
38 X	16058	0.369	SF-4
39	16018	0.368	SF-4
40	11868	0.272	SF-4
41	7809	0.179	SF-4
42	7812	0.179	SF-4
43	7812	0.179	SF-4
44	7812	0.179	SF-4
45	7812	0.179	SF-4
46	7812	0.179	SF-4
47	7812	0.179	SF-4
48	7812	0.179	SF-4
49	10230	0.235	SF-4
50	11301	0.259	SF-4
51	11249	0.258	SF-4
52	10878	0.250	SF-4
53 X	41451	0.952	N/A
54	9518	0.219	SF-4
55	7904	0.181	SF-4
56	12336	0.283	SF-4
57 X	26783	0.615	N/A

BLOCK B			
Lot Area Table			
Parcel #	Square Feet	Acreage	Zoning
1	6631	0.152	SF-6
2	5442	0.125	SF-6
3	5442	0.125	SF-6
4	5442	0.125	SF-6
5	5291	0.121	SF-6
6	5295	0.121	SF-6
7	6200	0.142	SF-6
8	6200	0.142	SF-6
9	5250	0.121	SF-6
10	5845	0.134	SF-6
11	6020	0.138	SF-6
12	6001	0.138	SF-6
13	6758	0.155	SF-6
14 X	7454	0.171	N/A

BLOCK C			
Lot Area Table			
Parcel #	Square Feet	Acreage	Zoning
1	10909	0.250	SF-6
2	7982	0.183	SF-6
3	7274	0.167	SF-6
4	5945	0.136	SF-6
5	6682	0.153	SF-6
6	5859	0.134	SF-6
7	5850	0.134	SF-6
8	8126	0.187	SF-6
9	7961	0.183	SF-6
10	5750	0.132	SF-6
11	5750	0.132	SF-6
12	5750	0.132	SF-6
13	5750	0.132	SF-6
14	5750	0.132	SF-6
15	6209	0.143	SF-6
16 X	7375	0.169	SF-6
17 X	8984	0.206	N/A

BLOCK D			
Lot Area Table			
Parcel #	Square Feet	Acreage	Zoning
1	8751	0.201	SF-6
2	6020	0.138	SF-6
3	5800	0.133	SF-6
4	5800	0.133	SF-6
5	5800	0.133	SF-6
6	5800	0.133	SF-6
7	5800	0.133	SF-6
8	7801	0.179	SF-6
9	8302	0.191	SF-6
10	7091	0.163	SF-6
11	6796	0.156	SF-6
12	6657	0.153	SF-6
13	6478	0.149	SF-6
14	6004	0.138	SF-6
15	9990	0.230	SF-6
16 X	5505	0.126	N/A
17 X	10686	0.245	N/A

Exhibit B - Final Plat
Page 5 of 6

BLOCK E			
Lot Area Table			
Parcel #	Square Feet	Acreage	Zoning
1 X	3924	0.090	N/A
2	8325	0.191	SF-4
3	14241	0.327	SF-4
4	9400	0.216	SF-4
5	7182	0.165	SF-4
6	7619	0.175	SF-4
7	11525	0.265	SF-4
8	15114	0.347	SF-4
9 X	8979	0.206	SF-4

BLOCK F			
Lot Area Table			
Parcel #	Square Feet	Acreage	Zoning
1 X	27140	0.623	N/A
2 X	132469	3.041	N/A

BLOCK G			
Lot Area Table			
Parcel #	Square Feet	Acreage	Zoning
1 X	116589	2.677	N/A

BLOCK H			
Lot Area Table			
Parcel #	Square Feet	Acreage	Zoning
1 X	36955	0.840	N/A
2 X	37251	0.855	N/A
3 X	39282	0.902	N/A
4 X	11701	0.269	N/A
5 X	60235	1.383	N/A
6 X	19708	0.452	N/A
7 X	64374	1.478	N/A
8 X	49853	1.144	N/A

Case # P210304

FINAL PLAT
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Revision Date: March 2021
SHEET 5 OF 6

OWNERS CERTIFICATE:

WHEREAS, **DAVIS RD DEVELOPMENT LLC** is the sole owner of that certain tract of land in the Joseph Lawrence Survey, Abstract Number 616, City of Grand Prairie, Ellis County, Texas, and being 39.636 acres (1,726,530 square feet) of land being a portion of that certain tract of land described in a Warranty Deed to Davis Rd Development LLC (hereinafter referred to as Davis Rd Development tract), Instrument Number 2011127, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.); said 39.636 acres (1,726,530 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a concrete monument stamped "826-3" found for the Northeastly corner of said Davis Rd Development tract, same being the most Northwesternly corner of that certain tract of land described in the General Warranty Deed to the United States of America (hereinafter referred to as USA tract), as recorded in volume 676, Page 506, Deed Records, Ellis County, Texas (D.R.E.C.T.);

- THENCE** with the common line between said Davis Rd Development tract and said USA tract for the following 4 courses:
- 1. South 51 degrees 10 minutes 45 seconds West, a distance of 887.19 feet to a concrete monument stamped "826-4" found for corner;
 - 2. South 16 degrees 29 minutes 04 seconds West, a distance of 639.32 feet to a concrete monument stamped "826-5" found for corner;
 - 3. South 25 degrees 05 minutes 36 seconds East, a distance of 532.26 feet to a concrete monument stamped "826-3" found for corner;
 - 4. South 15 degrees 22 minutes 38 seconds West, a distance of 472.81 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;

- THENCE** crossing said Davis Rd Development tract for the following 9 courses:
- 1. South 53 degrees 45 minutes 06 seconds West, departing the Westerly line of said USA tract, a distance of 98.44 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
 - 2. North 65 degrees 24 minutes 55 seconds West, a distance of 106.15 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a non-tangent curve to the left, whose long chord bears South 22 degrees 06 minutes 23 seconds West, a distance of 124.23 feet;
 - 3. Southerly with said non-tangent curve to the left, having a radius of 55.00 feet, through a central angle of 33 degrees 04 minutes 00 seconds, for an arc distance of 12.54 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
 - 4. South 15 degrees 34 minutes 23 seconds West, a distance of 310.79 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a curve to the right, whose long chord bears South 30 degrees 56 minutes 41 seconds West, a distance of 220.97 feet;
 - 5. Southerly with said curve to the right having a radius of 430.00 feet, through a central angle of 30 degrees 44 minutes 36 seconds, for an arc distance of 230.73 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
 - 6. South 46 degrees 18 minutes 59 seconds West, a distance of 69.40 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a curve to the right, whose long chord bears South 52 degrees 47 minutes 07 seconds West, a distance of 119.42 feet;
 - 7. South 49 degrees 30 minutes 40 seconds West, a distance of 54.66 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
 - 8. South 48 degrees 08 minutes 59 seconds West, a distance of 50.33 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
 - 9. South 15 degrees 25 minutes 23 seconds West, a distance of 28.38 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner in the Southerly line of said Davis Rd Development tract, same being the existing Northeastly right-of-way line of State Highway 287 (variable right-of-way), as recorded in Volume 1484, Page 675, D.R.E.C.T., same also being the beginning of a non-tangent curve to the right, whose long chord bears North 29 degrees 27 minutes 37 seconds West, a distance of 1.78 feet;

THENCE Northwesterly with the common line between said Davis Rd Development tract and the existing Northeastly right-of-way line of State Highway 287, with said non-tangent curve to the right having a radius of 670.00 feet, through a central angle of 00 degrees 09 minutes 08 seconds, for an arc distance of 1.78 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;

THENCE North 29 degrees 23 minutes 03 seconds West, a distance of 117.87 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;

THENCE crossing said Davis Rd Development tract for the following 17 courses:

- 1. South 74 degrees 36 minutes 03 seconds East, departing the existing Northeastly right-of-way line of State Highway 287, a distance of 27.15 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 2. North 58 degrees 33 minutes 35 seconds East, a distance of 44.77 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 3. North 67 degrees 53 minutes 10 seconds East, a distance of 59.36 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 4. North 48 degrees 18 minutes 59 seconds East, a distance of 94.57 feet to the beginning of a curve to the left, whose long chord bears North 30 degrees 56 minutes 41 seconds East, a distance of 106.16 feet;
- 5. Northerly with said curve to the left having a radius of 370.00 feet, through a central angle of 30 degrees 44 minutes 36 seconds, for an arc distance of 198.53 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 6. North 15 degrees 34 minutes 23 seconds East, a distance of 176.92 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 7. North 07 degrees 58 minutes 42 seconds East, a distance of 18.88 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 8. North 00 degrees 29 minutes 52 seconds West, a distance of 56.01 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 9. North 15 degrees 34 minutes 23 seconds East, a distance of 104.24 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 10. North 48 degrees 04 minutes 41 seconds East, a distance of 44.47 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 11. North 21 degrees 55 minutes 19 seconds West, a distance of 936.95 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 12. South 73 degrees 15 minutes 41 seconds West, a distance of 400.83 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a curve to the left, whose long chord bears South 66 degrees 53 minutes 53 seconds West, a distance of 159.60 feet;
- 13. Southerly with said curve to the left having a radius of 720.00 feet, through a central angle of 12 degrees 43 minutes 37 seconds, for an arc distance of 159.93 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 14. South 60 degrees 32 minutes 04 seconds West, a distance of 76.40 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 15. South 48 degrees 00 minutes 12 seconds West, a distance of 46.09 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 16. South 60 degrees 32 minutes 04 seconds West, a distance of 80.00 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;

17. South 15 degrees 30 minutes 35 seconds West, a distance of 63.61 feet to a mag nail set for corner in the Southerly line of said Davis Rd Development tract, same being in the St. Paul Bitter Springs tract (variable right-of-way).

THENCE North 29 degrees 30 minutes 55 seconds West with the Southerly line of said Davis Rd Development tract and said Davis Road, a distance of 134.68 feet to a mag nail found for the most Westerly Northwest corner of said Davis Rd Development tract, same being the Southerly corner of that certain tract of land described in a deed to William Tellford, and wife, Kay Tellford (hereinafter referred to as Tellford tract), as recorded in Volume 738, Page 371, D.R.E.C.T.;

THENCE North 48 degrees 03 minutes 22 seconds East, departing Davis Road, with the common line between said Davis Rd Development tract and said Tellford tract, east a distance of 20.06 feet, a concrete monument found and continue with said course and the common line between said Davis Rd Development tract and said Tellford tract for a total distance of 37.74 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;

THENCE crossing said Davis Rd Development tract for the following 10 courses:

- 1. South 74 degrees 29 minutes 25 seconds East, departing the Southerly line of said Tellford tract, a distance of 10.38 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 2. North 60 degrees 32 minutes 04 seconds East, a distance of 80.00 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 3. North 73 degrees 03 minutes 39 seconds East, a distance of 46.11 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 4. North 60 degrees 32 minutes 04 seconds East, a distance of 76.45 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner, same being the beginning of a curve to the right, whose long chord bears North 66 degrees 53 minutes 53 seconds East, a distance of 172.90 feet;
- 5. Northerly with said curve to the right having a radius of 780.00 feet, through a central angle of 12 degrees 43 minutes 37 seconds, for an arc distance of 172.26 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 6. North 73 degrees 15 minutes 41 seconds East, a distance of 261.89 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 7. North 51 degrees 37 minutes 46 seconds East, a distance of 48.83 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 8. North 73 degrees 15 minutes 41 seconds East, a distance of 75.77 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 9. South 88 degrees 48 minutes 33 seconds East, a distance of 11.59 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner;
- 10. North 21 degrees 55 minutes 19 seconds West, a distance of 882.17 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for corner in the Northwesterly line of said Davis Rd Development tract, same being a Southerly line of that certain tract of land described in a Special Warranty Deed to WM SUB GT LP (hereinafter referred to as WM SUB GT tract), as recorded in Volume 2865, Page 57, D.R.E.C.T.;

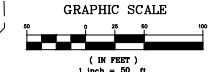
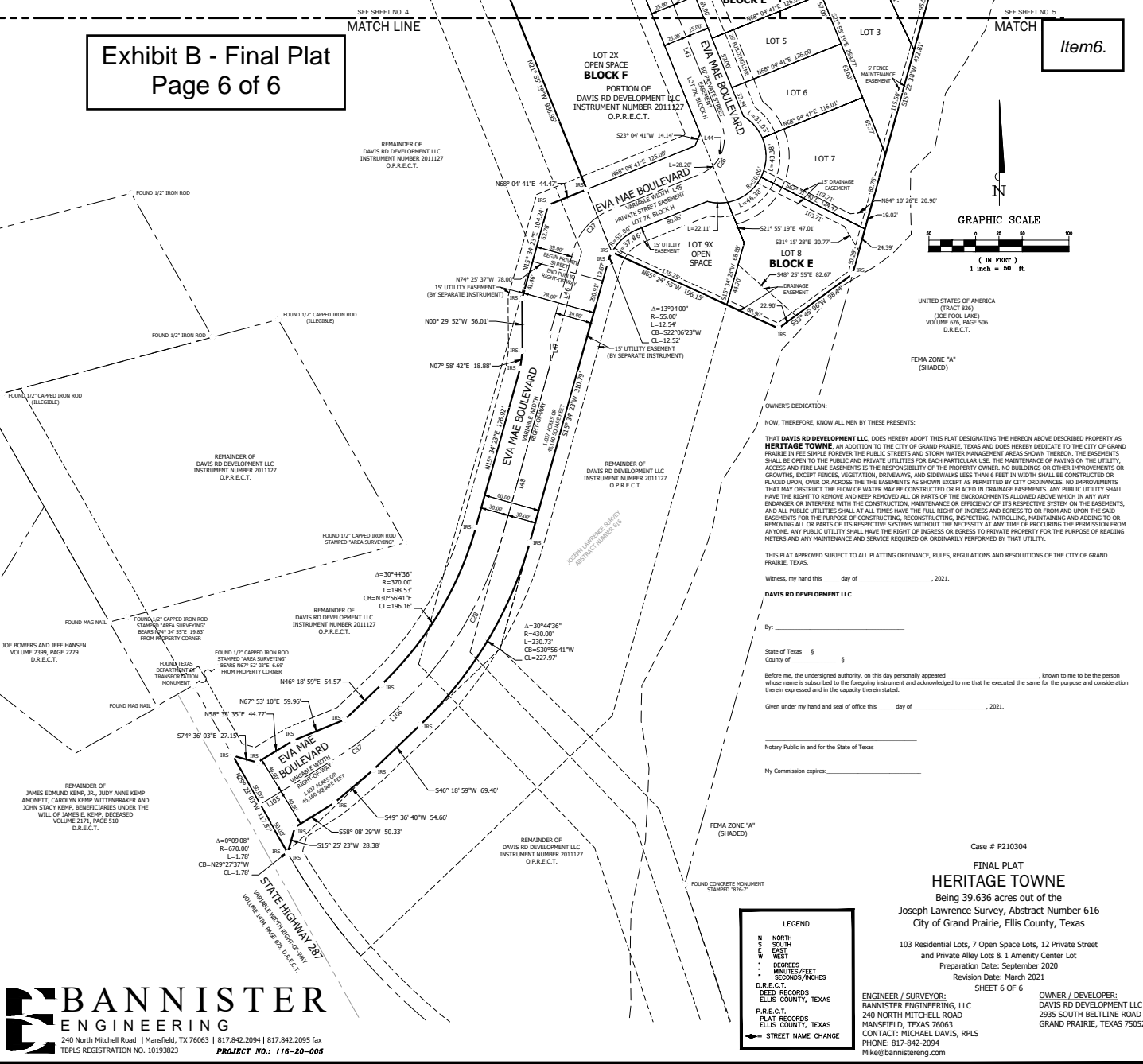
THENCE North 64 degrees 23 minutes 15 seconds East with the common line between said Davis Rd Development tract and said WM SUB GT tract, a distance of 96.81 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

THENCE North 64 degrees 53 minutes 00 seconds East, continue with the common line between said Davis Rd Development tract and said WM SUB GT tract, a distance of 581.99 feet to a five-eighths inch iron rod with plastic cap stamped "MCCOOKIE" found for corner;

THENCE South 88 degrees 32 minutes 15 seconds East, continue with the common line between said Davis Rd Development tract and said WM SUB GT tract, passing a distance of 699.10 feet to the Southerly corner of said WM SUB GT tract, same being the Southerly corner of that certain tract of land described in a Special Warranty Deed to Nehemiah Partners, L.P. (hereinafter referred to as Nehemiah tract), as recorded in Volume 1661, Page 104, D.R.E.C.T., from which a one-half inch copper iron rod was found and continue with said course and the common line between said Davis Rd Development tract and said Nehemiah tract for a total distance of 1150.28 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 39,636 acres (1,726,530 square feet) of land.

Exhibit B - Final Plat

Page 6 of 6



OWNER'S DEDICATION:
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT **DAVIS RD DEVELOPMENT LLC**, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS **HERITAGE TOWNE**, AN ADDITION TO THE CITY OF GRAND PRAIRIE, TEXAS AND DOES HEREBY DEDICATE TO THE CITY OF GRAND PRAIRIE IN FEE SIMPLE FOREVER THE PUBLIC STREETS AND STORM WATER MANAGEMENT AREAS SHOWN THEREON. THE EASEMENTS SHALL BE OPEN TO THE PUBLIC AND PRIVATE UTILITIES FOR EACH PRACTICAL USE, THE MAINTENANCE OF PAVING ON THE UTILITY, ACCESS AND FEE LINE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER, NO BUILDINGS OR OTHER IMPROVEMENTS OR GROWING, EXCEPT FENCES, VEGETATION, DRIVEWAYS, AND SIDEWALKS LESS THAN 4 FEET IN WIDTH OR SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN EXCEPT AS PERMITTED BY CITY ORDINANCES. NO IMPROVEMENTS THAT MAY OBSTRUCT THE FLOW OF WATER MAY BE CONSTRUCTED OR PLACED IN DRAINAGE EASEMENTS. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF THE ENCROACHMENTS ALLOWED ABOVE WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON THE EASEMENTS, AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF ingress AND egress TO OR FROM AND UPON THE SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REPAIRING ALL OR PARTS OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION FROM ANYONE. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF ingress OR egress TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE AND SERVICE REQUIRED OR OTHERWISE PERFORMED BY THAT UTILITY.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCE, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF GRAND PRAIRIE, TEXAS.
Witness, my hand this _____ day of _____, 2021.

DAVIS RD DEVELOPMENT LLC
By: _____

State of Texas \$
County of _____ \$

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 2021.

Notary Public in and for the State of Texas

My Commission expires: _____

Case # F210304
FINAL PLAT
HERITAGE TOWNE
Being 39.636 acres out of the
Joseph Lawrence Survey, Abstract Number 616
City of Grand Prairie, Ellis County, Texas
103 Residential Lots, 7 Open Space Lots, 12 Private Street
and Private Alley Lots & 1 Amenity Center Lot
Preparation Date: September 2020
Revision Date: March 2021
SHEET 6 OF 6
ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com
OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT LLC
2935 SOUTH BELTLINE ROAD
GRAND PRAIRIE, TEXAS 75052

BANNISTER ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBPIS REGISTRATION NO. 10193823 **PROJECT NO.: 116-20-005**

16-DIGIT 01/16/2025 10:05:00 AM - Corrupt/Invalid File - 07-17-2025 Reserial Design/Inquiry 38-130005 Survey Area.dwg



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: P201204 - Preliminary Plat - Camp Wisdom Village Addition (City Council District 4). Preliminary Plat for Lots 1-4, Block 1, Camp Wisdom Village, creating four lots on 26.778 acres. Tract 1G, Tract 2, and Tract 3, Memcan Hunt Survey, Abstract No. 758, City of Grand Prairie, Tarrant County, Texas, zoned PD-376, and generally located on the northeast corner of W Camp Wisdom Rd and Martin Barnes Rd

RECOMMENDED ACTION: Approve

SUMMARY:

Preliminary Plat for Lots 1-4, Block 1, Camp Wisdom Village, creating four lots on 26.778 acres. Tract 1G, Tract 2, and Tract 3, Memcan Hunt Survey, Abstract No. 758, City of Grand Prairie, Tarrant County, Texas, zoned PD-376, and generally located on the northeast corner of W Camp Wisdom Rd and Martin Barnes Rd.

PURPOSE OF REQUEST:

The purpose of this request is to preliminary plat four lots on 26.778 acres to facilitate the development of a multi-family and mixed-use development.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	PD-323	Powerlines, Single Family Residential
South	PD-267	Powerlines, Single Family Residential
West	Agriculture, PD-182; PD-130	Single Family Residential; Undeveloped
East	PD-48	Powerlines

HISTORY:

- June 19, 2018: City Council approved a zoning change and concept plan creating PD-376, a planned development district for a horizontal mixed-use development (Case Number Z180101/CP180101).
- A Site Plan for this development is under concurrent review (Case Number S201203).

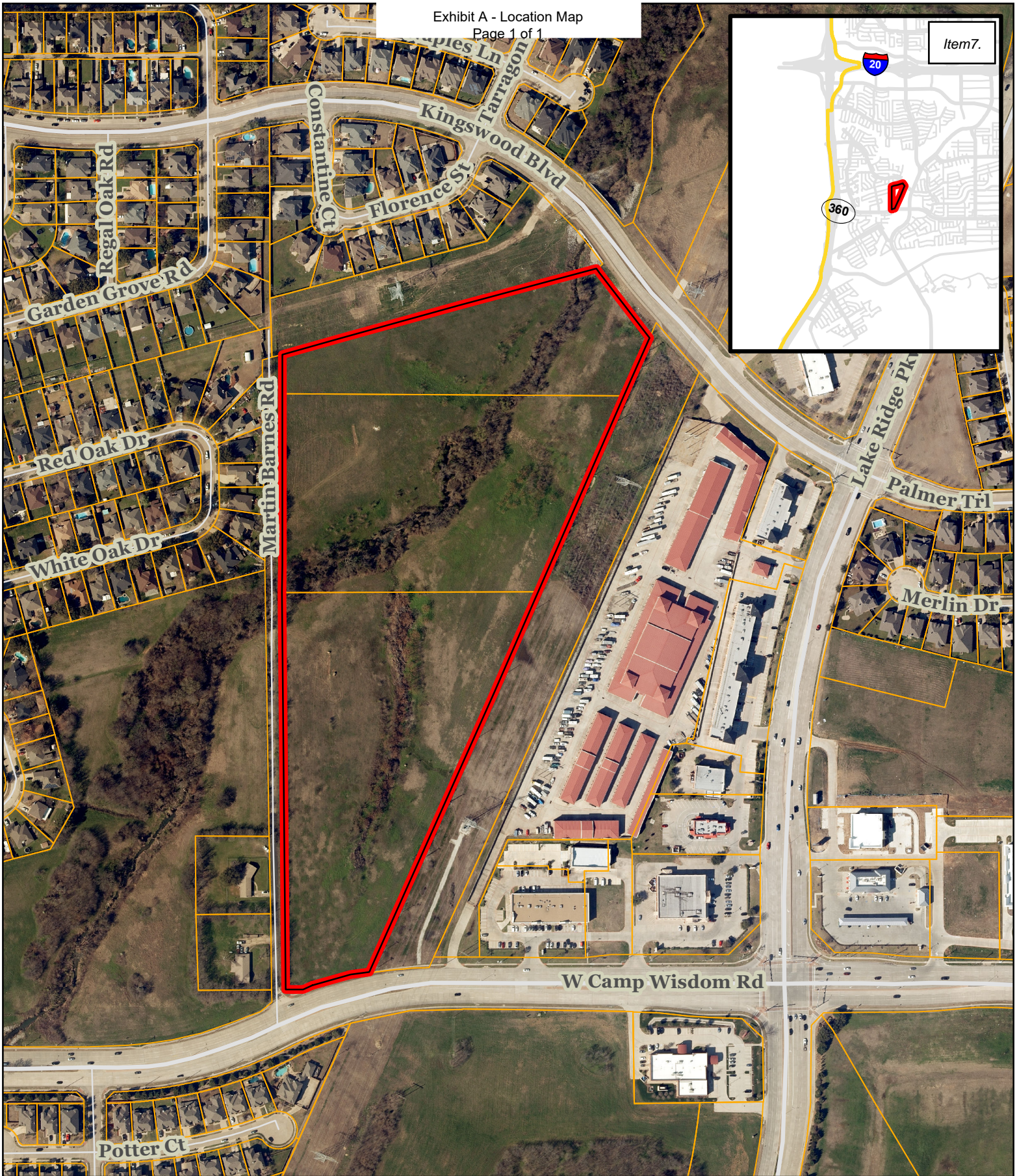
PLAT FEATURES:

The preliminary plat establishes property boundaries for four lots, depicts existing easements, and will dedicate right-of-way for Martin Barnes Rd. The plat mistakenly labels this as an access easement and will need to be corrected to show as right-of-way dedication as depicted on the site plan (Case Number S201203).

The purpose of the plat is to ensure full compliance with UDC standards and regulations. Primary access to the development will be off Camp Wisdom RD. Secondary access will be off Kingswood Blvd via a drive on the adjacent HOA lot. Prior to final platting the property, the applicant must obtain an easement from the HOA.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



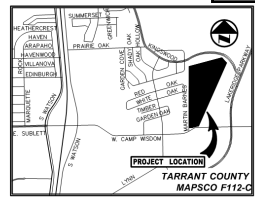
CASE LOCATION MAP
Case Number P201204
Camp Wisdom Village



City of Grand Prairie
Development Services

(972) 237-8255
www.gptx.org

Item 7.



0 30 60 120 180
GRAPHIC SCALE IN FEET
1" = 60'

LEGEND

- PROPERTY LINES
- - - EASEMENT LINE
- - - SETBACK LINE
- - - SURVEY ABSTRACT LINE
- - - LIMITS OF FLOOD ZONE
- POINT FOR CORNER (UNLESS OTHERWISE NOTED)
- VOL. VOLUME
- P.G. PAGE
- DOC. NO. DOCUMENT NUMBER
- SF SQUARE FEET
- NO RECORD FOUND
- RIGHT-OF-WAY EASEMENT (SEE NOTE 7)
- RIGHT-OF-WAY DEDICATION (BY THIS PLAT)

NOTES

1. Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances reported have been scaled by applying the Tarrant County surface adjustment factor of 1.000120000.
2. Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Dallas County, Texas and Incorporated Areas, Map No. 454-280370L, Community-Flood No. 45472-0370 L, Effective Date: March 21, 2019. Relevant zones are defined on said map as follows:
Zone "X" - Other Areas: Areas determined to be outside the 500-year floodplain.
Zone "AE" - Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual chance flood. Base flood elevations determined.
3. Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
4. The purpose of this plat is to create 4 Lots out of undeveloped land.
5. Approximate tree lines and Topographic Survey by Keeton Surveying Company provided to Pacheco Koch Consulting Engineers on March 15, 2020.
6. All streams are to remain natural and maintenance of ponds and streams are solely the responsibility of the property owners or Home Owners Association (HOA).
7. Document C E. No. 373 - TARRANT COUNTY HIGHWAY DEPARTMENT RIGHT-OF-WAY EASEMENT describes a portion of land to be used as a right-of-way easement, no record information was labeled in the document.

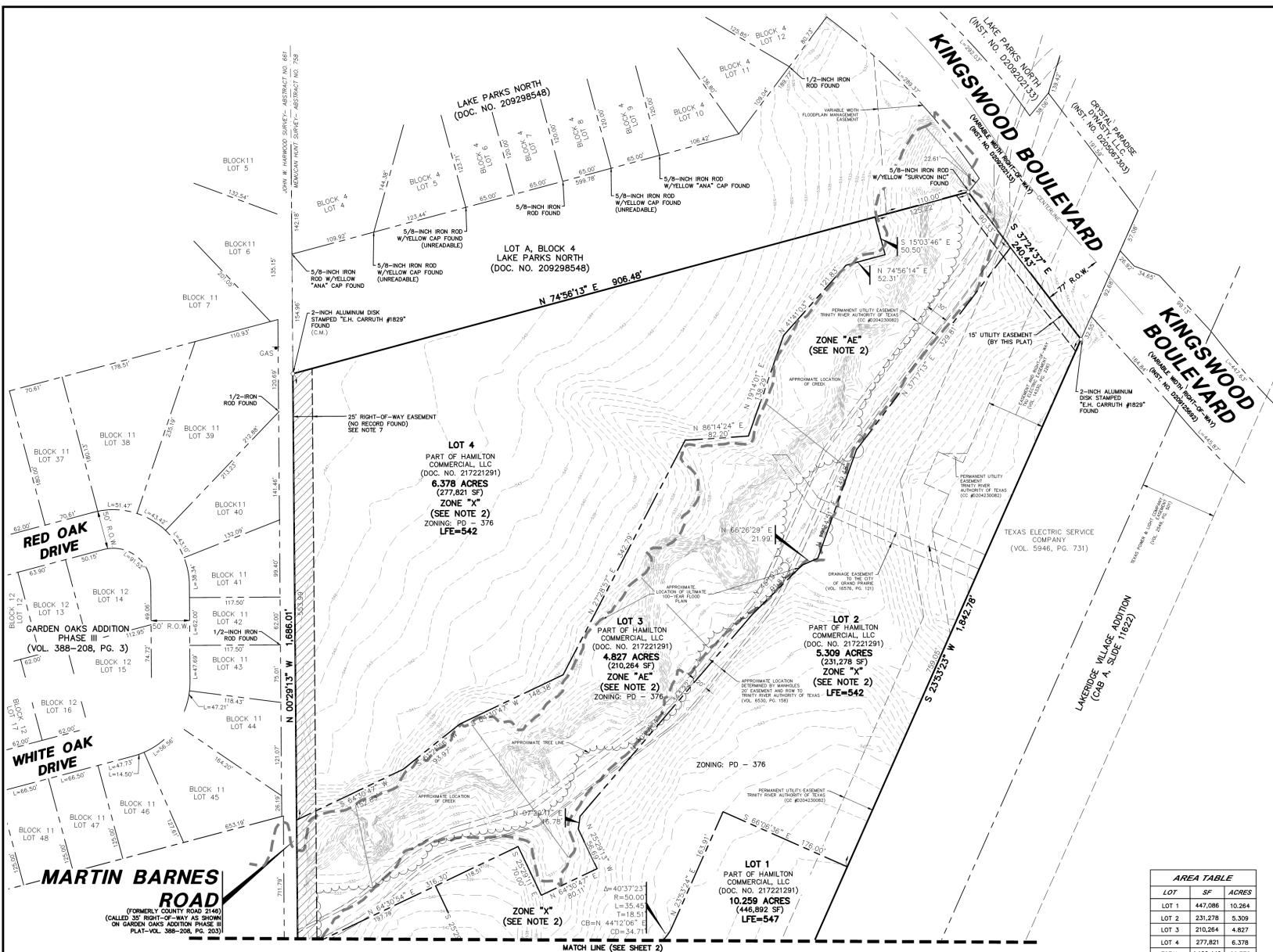
AREA TABLE	
LOT	SF ACRES
LOT 1	447,086 10.264
LOT 2	231,278 5.309
LOT 3	210,284 4.827
LOT 4	277,821 6.378
TOTAL	1,166,449 26.778

PRELIMINARY PLAT
CAMP WISDOM VILLAGE
LOTS 1-4, BLOCK 1
4 LOTS - 26.778 ACRES
LOCATED IN THE CITY OF GRAND PRAIRIE
AND BEING OUT OF THE
M. HUNT SURVEY, ABSTRACT NO. 758
TARRANT COUNTY, TEXAS
CASE NUMBER: P201204
SHEET 1 OF 3

SURVEYOR / ENGINEER
PACHECO KOCH CONSULTING ENGINEERS INC.
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: (972) 235-3031
CONTACT: LUIS M. GONZALEZ

OWNER
HAMILTON COMMERCIAL, LLC
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PH: (972) 663-9775
CONTACT: MR. HAMILTON PECK

DRAWN BY	CHECKED BY	SCALE	DATE	JOB NUMBER
VTS	LMG	1"=60'	FEB. 2021	3989-20.057



MARTIN BARNES ROAD
(FORMERLY COUNTY ROAD 2146)
(CALLED BY RIGHT-OF-WAY AS SHOWN
ON GARDEN OAKS ADDITION PHASE III
PLAT-VOL. 388-208, PG. 303)

WHITE OAK DRIVE

GARDEN OAKS ADDITION PHASE III
(VOL. 388-208, PG. 3)

RED OAK DRIVE

PRELIMINARY PLAT - CAMP WISDOM VILLAGE LOTS 1-4, BLOCK 1



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Dana Woods, AICP, Senior Planner

TITLE: Z210203/CP210203 - Planned Development Request - Gilbert Villas (City Council District 1). Planned Development Zoning Request for a townhome development with 96 lots on 8.379 acres. The lot sizes range from 2,250 to 3,866 sq. ft with lot widths of 25 feet and 85-90-foot lot depths

RECOMMENDED ACTION: Table to March 22, 2021

SUMMARY:

Planned Development (PD) zoning change request for a townhome development with 96 lots on 8.379 acres. Tracts 4, 6, and 22, Elizabeth Gray Abstract 1680, City of Grand Prairie, Dallas County, Texas, zoned PD-317, with the approximate address of 108 Shady Grove Rd.

REQUEST TO BE TABLED:

- The applicant has requested to table the case to the March 22, 2021 meeting.



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: Z201203/CP201202 - Zoning Change/Concept Plan - Grand Prairie Multi-Family (City Council District 3). Zoning Change and Concept Plan for a Multi-Family and General Retail development on 31.45 acres. Tract 5, Mercer Fain Survey, Abstract No. 475, City of Grand Prairie, Dallas County, Texas, zoned SF-4 and GR, and located at the northeast corner of E Marshall Dr and S Belt Line Rd

RECOMMENDED ACTION: Table

SUMMARY:

Zoning Change and Concept Plan for a Multi-Family and General Retail development on 31.45 acres. Tract 5, Mercer Fain Survey, Abstract No. 475, City of Grand Prairie, Dallas County, Texas, zoned SF-4 and GR, and located at the northeast corner of E Marshall Dr and S Belt Line Rd.

REQUEST TO BE TABLED:

- February 8, 2021: The Planning and Zoning Commission tabled this request to the March 8, 2021 meeting by a vote of 9-0.
- The applicant has submitted revised plans which are under review by staff.



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: Z201101/CP201101 - Zoning Change/Concept Plan - Mixed Use at SH-360 and Davis Rd (City Council District 6). Zoning Change and Concept Plan for a mixed-use development that includes commercial, office, mixed and multi-family uses on about 41 acres. B. F. Howard Survey, Abstract No. 513, and Seth M. Blair Survey, Abstract No.135, City of Grand Prairie, Ellis County, Texas, zoned Agriculture, and generally located east of State Highway 360 and north of US Highway 287

RECOMMENDED ACTION: Table

SUMMARY:

Zoning Change and Concept Plan for a mixed-use development that includes commercial, office, and multi-family uses on about 41 acres. B. F. Howard Survey, Abstract No. 513, and Seth M. Blair Survey, Abstract No.135, City of Grand Prairie, Ellis County, Texas, zoned Agriculture, and generally located east of State Highway 360 and north of US Highway 287.

REQUEST TO BE TABLED:

- The applicant has requested that this item be tabled.



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: S201203 - Site Plan - Camp Wisdom Village (City Council District 4). Site Plan for Camp Wisdom Village, a multi-family and mixed-use development with 499 multi-family units and 16,000 sq. ft. of retail/restaurant uses on 26.778 acres. Tract 1G, Tract 2, and Tract 3, Memcan Hunt Survey, Abstract No. 758, City of Grand Prairie, Tarrant County, Texas, zoned PD-376, and generally located on the northeast corner of W Camp Wisdom Rd and Martin Barnes Rd

RECOMMENDED ACTION: Approve

SUMMARY:

Site Plan for Camp Wisdom Village, a multi-family and mixed-use development with 499 multi-family units and 16,000 sq. ft. of retail/restaurant uses on 26.778 acres. Tract 1G, Tract 2, and Tract 3, Memcan Hunt Survey, Abstract No. 758, City of Grand Prairie, Tarrant County, Texas, zoned PD-376, and generally located on the northeast corner of W Camp Wisdom Rd and Martin Barnes Rd.

PURPOSE OF REQUEST:

The applicant intends to construct a horizontal mixed-use development on 26.778 acres. Site Plan approval by City Council is required for any project involving multi-family use or within a Planned Development District. Development at this location requires City Council approval of a Site Plan because the property is intended for multi-family use and zoned PD-376.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	PD-323	Powerlines, Single Family Residential
South	PD-267	Powerlines, Single Family Residential
West	Agriculture, PD-182; PD-130	Single Family Residential; Undeveloped
East	PD-48	Powerlines

HISTORY:

- June 19, 2018: City Council approved a zoning change and concept plan creating PD-376, a planned development district for a horizontal mixed-use development (Case Number Z180101/CP180101).
- A Preliminary Plat for this development is under concurrent review (Case Number P201204).

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The applicant is proposing to construct a horizontal mixed-use development on 26.77 acres. The proposal includes one commercial building with a gross leasable area of 16,000 sq. ft. and nine multi-family buildings with a total of 499 units.

Access will be provided off Camp Wisdom Rd and Martin Barnes. Secondary access will be provided off Kingswood Rd via an access easement on the adjacent HOA lot. Prior to final platting the applicant must obtain an easement from the HOA.

ZONING REQUIREMENTS:*Density and Dimensional Requirements*

The subject property is zoned PD-376 with a base zoning of Multi-Family Three District; development is subject to the standards for PD-376 and for Multi-Family Three District in the Unified Development Code (UDC). The following table evaluates the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.

Table 2. Site Data Summary

Standard	Required	Provided	Meets
Min. Lot Area Sq. Ft.	12,000	446,892	Yes
Min. Lot Width (Ft.)	100	260	Yes
Min. Lot Depth (Ft.)	120	941.5	Yes
Commercial Building Front Setback (Ft.)	40	100	Yes
Multi-Family Building Front Setback (Ft.)	300	378	Yes
Commercial Building Side Setback (Ft.)	40	21	No
Multi-Family Side Setback Adjacent to Unimproved Sections of Martin Barnes Rd (Ft.)	60	60	Yes
Multi-Family Side Setback Adjacent to Improved Sections of Martin Barnes Rd (Ft.)	40	17	No
Buildings Directly Facing Single Family Max. Height (Ft.)	55	41	Yes
Buildings with 4 Stories Max. Height (Ft.)	60	51.5	Yes
Max. Density (DUA)	20	19	Yes
Max. One Bedroom (%)	60	55	Yes

Parking

The table below evaluates the parking requirements for the entire development. The proposal meets the required parking, garages, and carports.

Table 3. Parking Requirements

Standard	Required	Provided	Meets
Total Parking Spaces Commercial	58	58	Yes
Multi-Family Total Parking Spaces	792	965	Yes
Garage	64	82	Yes
Carport	159	166	Yes

Landscape and Screening

The property is subject to landscape and screening requirements in Appendix W of the UDC. The table below summarizes these requirements. The proposal meets the landscape and screening requirements.

Table 4. Landscape & Screening Requirements

Standard	Required	Provided	Meets
Landscape Area (Sq. Ft.)	174,938	189,452	Yes
Trees	350	350 (206 New + 144 Existing)	Yes
Shrubs	3,499	3,499	Yes
Dumpster Enclosure	Masonry Enclosure	Masonry Enclosure	Yes

Exterior Building Materials

The exterior finish materials include stone, stucco, and fiber cement siding. The proposed building elevations also meet the recommended design and building materials in Appendix W.

Appendix W Amenities

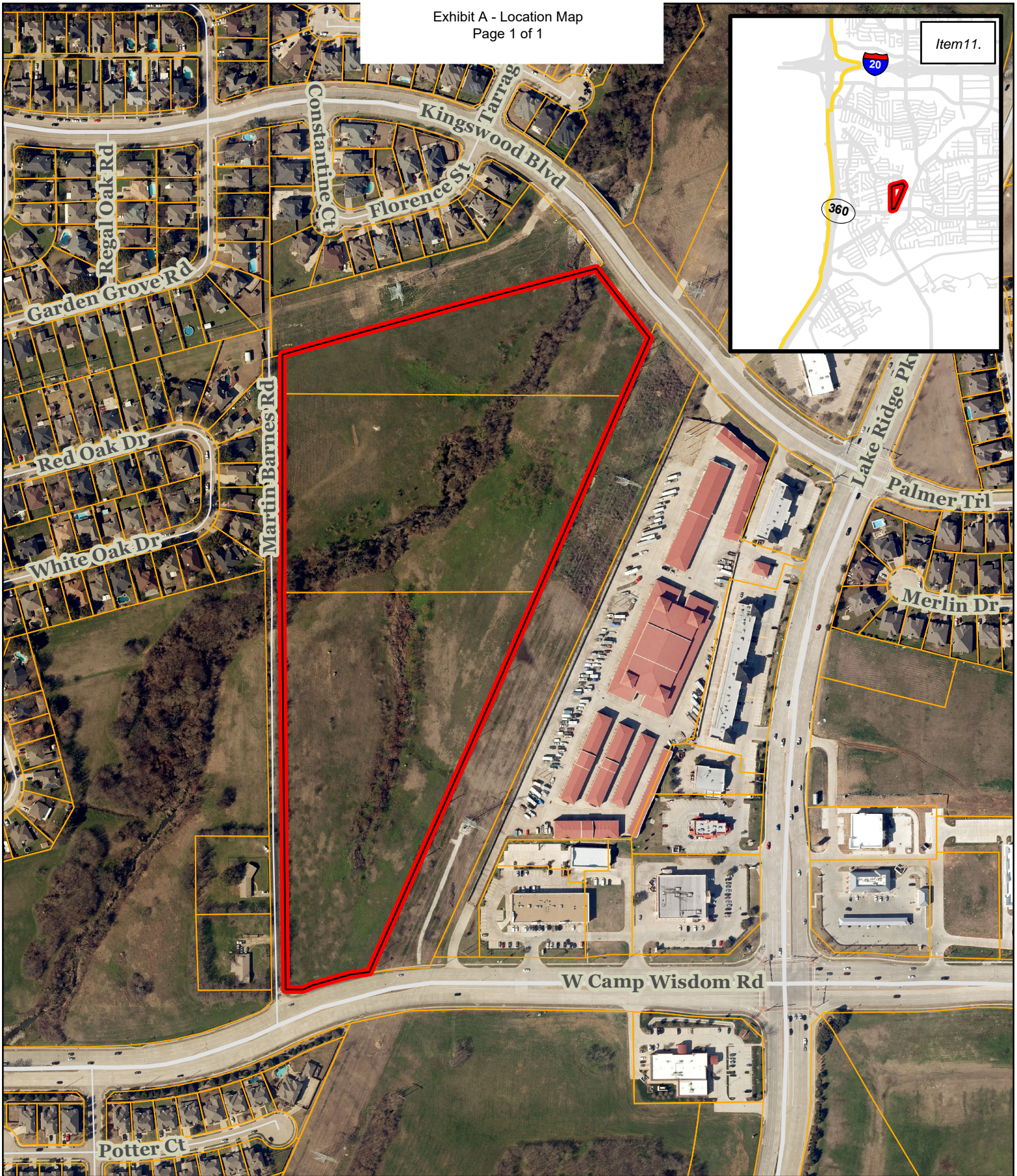
Appendix W requires a certain number of amenities from categories such as environmentally friendly building materials, construction techniques, or other features, high quality features or design, and technology. Additionally, the proposal includes the following amenities: dog park, pool, rooftop outdoor kitchen/lounge areas, multi-purpose room, fitness center, and coworking spaces. The proposal meets the requirements for amenities.

VARIANCES:

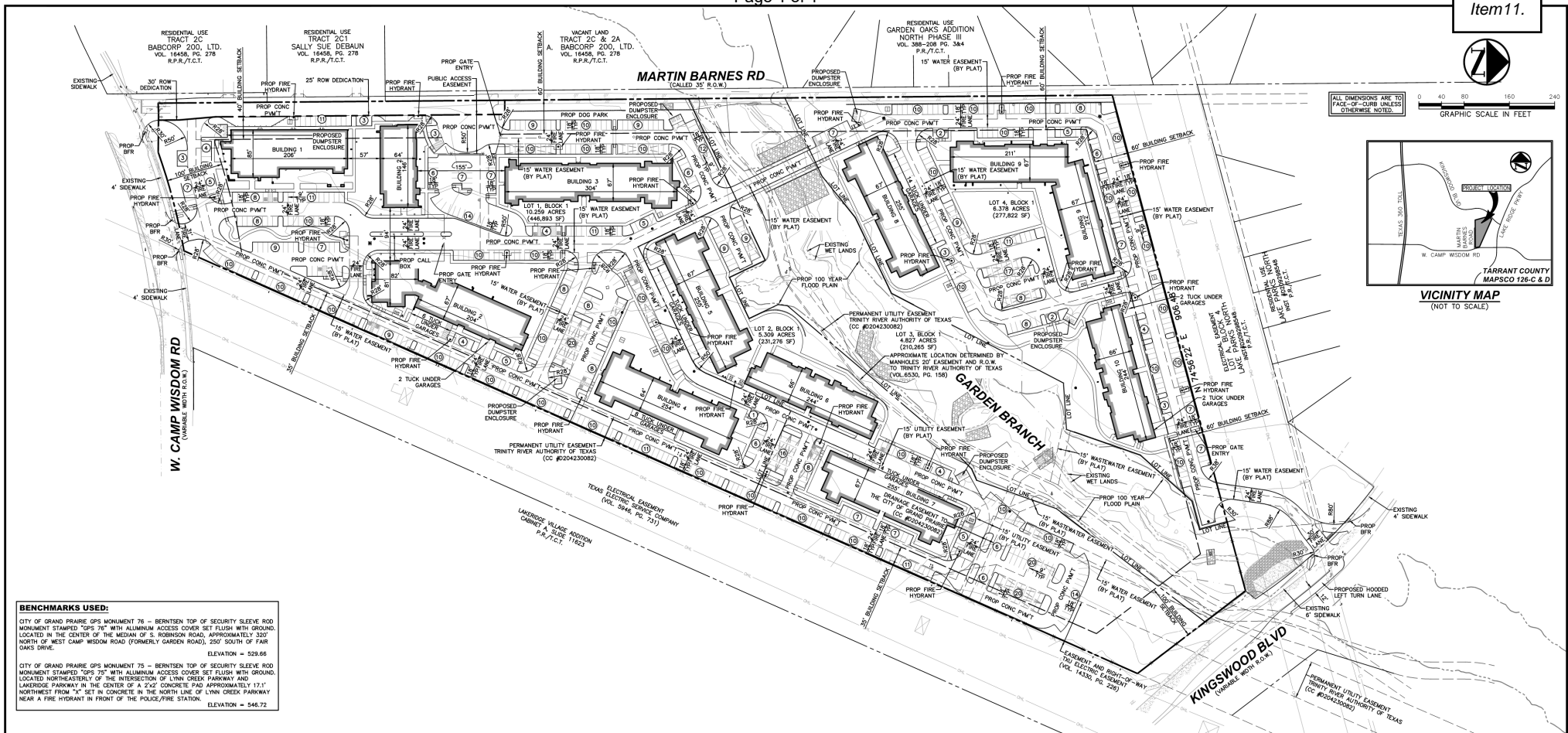
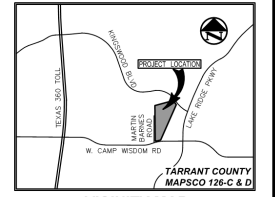
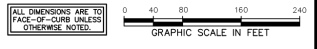
The applicant is requesting a variance to the side setback for Building 1 and Building 2. The approved concept plan included the width of the right-of-way for Martin Barnes in the setback. The applicant originally intended to dedicate this as an access easement and would have been able to meet the setback requirements. However, the City is requiring that the applicant dedicate it as right-of-way. Staff does not object to the requested variance.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with the condition that the applicant obtain an access easement from the HOA.



Item 11.



BENCHMARKS USED:
 CITY OF GRAND PRAIRIE GPS MONUMENT 76 - BERNSTEIN TOP OF SECURITY SLEEVE ROD MONUMENT STAMPED "GPS 76" WITH ALUMINUM ACCESS COVER SET FLUSH WITH GROUND. LOCATED IN THE CENTER OF THE MEDIAN OF S. ROBINSON ROAD, APPROXIMATELY 300' NORTH OF WEST CAMP WISDOM ROAD (FORMERLY GARDEN ROAD), 250' SOUTH OF FAIR OAKS DRIVE. ELEVATION = 528.66
 CITY OF GRAND PRAIRIE GPS MONUMENT 75 - BERNSTEIN TOP OF SECURITY SLEEVE ROD MONUMENT STAMPED "GPS 75" WITH ALUMINUM ACCESS COVER SET FLUSH WITH GROUND. LOCATED NORTHEASTERLY OF THE INTERSECTION OF LYNN CREEK PARKWAY AND LANDSCAPE PARKWAY IN THE CENTER OF A 12'x24' CONCRETE PAD APPROXIMATELY 131' NORTHWEST FROM "X" SET IN CONCRETE IN THE NORTH LINE OF LYNN CREEK PARKWAY NEAR A FIRE HYDRANT IN FRONT OF THE POLICE/FIRE STATION. ELEVATION = 546.72

LOT DATA					
Location	Lot 1, Block 1	Lot 2, Block 1	Lot 3, Block 1	Lot 4, Block 1	TOTAL
Zoning	Planned Development District No. 376				
Use	Retail & Multi-family	Multi-family	Open Space	Multi-family	Mixed-Use
Site Area	10,259 AC. (446,893 S.F.)	5,309 AC. (231,276 S.F.)	4,827 AC. (210,265 S.F.)	6,378 AC. (277,822 S.F.)	26,774 AC. (1,166,256 S.F.)
Total Building Footprint	89,575 S.F.	51,235 S.F.	0 S.F.	61,980 S.F.	202,790 S.F.
Open Space S.F.	-	-	210,265 S.F.	-	210,265 S.F.
Gross Square Footage	285,071	191,881	0	205,316	682,268
Floor Area Ratio	0.64	0.83	0	0.74	

BUILDING SCHEDULE					
Building ID	Number of Units	Building SF	Gross SF	Number of Floors	Height
1	0	19,884	15,934	1	28.5'
2	87	29,324	126,371	4	48'
3	75	21,503	86,132	4	48.5'
4	38	18,864	56,634	3	36.5'
5	53	17,705	72,117	4	47'
6	39	15,825	47,647	3	36.5'
7	53	17,705	72,117	4	47'
8	53	17,705	72,117	4	47'
9	62	28,450	85,552	3	36.5'
10	39	15,825	47,647	3	36.5'

REQUIRED PARKING DATA							
Location	Lot 1, Block 1	Lot 2, Block 1	Lot 3, Block 1	Lot 4, Block 1	TOTAL		
Parking Ratio Req'd	Number of Units	Number of Units	Number of Units	Number of Units	Number of Units	Number of Units	Number of Units
1.25 spaces/1 BR	108	135	89	110	442	110	552
2 spaces/2+ BR	92	184	66	132	474	132	606
1 space/275 SF Retail	10,000	58	-	-	10,058	-	10,058
	200	377	487	154	242	245	291

PROVIDED PARKING DATA				
Type of Parking	Lot 1	Lot 2	Lot 4	TOTAL
Surface	124	332	199	253
Tuck Under Garage	18	32	20	70
Tandem	15	14	18	47
Subtotal	124	363	245	291
% of Total	12.12%	35.48%	23.95%	28.45%
Total	1,023			

*NOTE: Required number of carports and private garages are based on total required for multi-family for overall site.
 Covered parking required = (319+242+231)*(0.20) = 159
 Covered parking provided = 166
 Private garages required = (319+242+231)*(0.08) = 64
 Private garages provided = 82

SITE DATA		
	Existing	Proposed
Total Area	26,774 AC. (1,166,256 S.F.)	26,774 AC. (1,166,256 S.F.)
Site Coverage	0% on Undeveloped Land	202,790 SF (17.34%)
Impervious Area	Undeveloped Land	612,713 SF (52.54%)

- LEGEND**
- ⊕ BOLLARD
 - ⊖ ELECTRIC METER
 - ⊙ POWER POLE
 - ⊙ LIGHT STANDARD
 - ⊙ WATER METER
 - ⊙ WATER VALVE
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊙ FIRE HYDRANT
 - ⊙ CLEANOUT
 - ⊙ MANHOLE
 - ⊙ TRAFFIC SIGNAL CONTROL
 - ⊙ TRAFFIC SIGNAL POLE
 - ⊙ TELEPHONE BOX
 - ⊙ FLOOD LIGHT
 - ⊙ FLAG POLE
 - ⊙ TRAFFIC SIGN
 - ⊙ 1/2"-INCH IRON ROD
 - ⊙ W/PACHCO KOCH® CAP SET
 - ⊙ CONTROLLING MONUMENT
 - ⊙ PROPERTY LINE
 - ⊙ FENCE
 - ⊙ COORDINATE DESIGNATION
 - ⊙ REFER SHEET C10
 - ⊙ PROPOSED FENCE
 - ⊙ FIRE LANE
 - ⊙ EXISTING NET LANDS
 - ⊙ PROPOSED 100 YEAR FLOOD PLAN

STOP!

 Know what's below.
 Call before you dig.
 (@ least 72 hours prior to digging)

DEVELOPER
 HAMILTON PECK
 HAMILTON COMMERCIAL, LLC
 1600 EAST PIONEER PARKWAY, SUITE 550
 ARLINGTON, TEXAS 76010
 P: 972-663-9775
 F: 972-235-3657
 E: HAMILTON@HAMILTONCOMMERCIAL.TX.COM

ENGINEER
 TATE BRAUN, P.E.
 PACHCO KOCH CONSULTING ENGINEERS, INC.
 7557 RAMBLER RD. #1400
 DALLAS, TEXAS 75231
 P: 972-235-3657
 F: 972-235-3657
 E: T.BRAUN@PKCE.COM

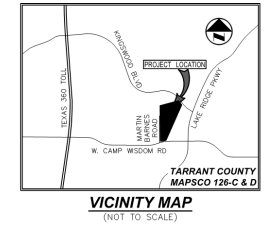
PRELIMINARY
 NOT FOR CONSTRUCTION
 THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.
 PLANS PREPARED UNDER THE DIRECT SUPERVISION OF TATE B. BRAUN, P.E. TEXAS REGISTRATION NO. 131167 DATE 03/31/2021

NO. DATE REVISION
 7557 RAMBLER ROAD SUITE 1400 DALLAS, TX 75231 972.235.3031
Pacheco Koch TX REG. ENGINEERING FIRM F-469 TX REG. SURVEYING FIRM LS-1000000
SITE PLAN
CAMP WISDOM VILLAGE
LOT 1-4, BLOCK 1
W. CAMP WISDOM RD @ MARTIN BARNES RD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
TBB	RHB	FEB 2021	1"=80'			SP.1

S201203
 PK FILE: 3989-20.057
 PK-3989-20.057SITEPLAN.DWG

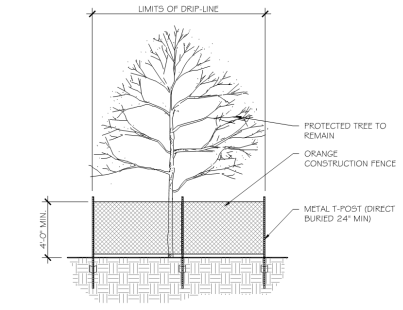
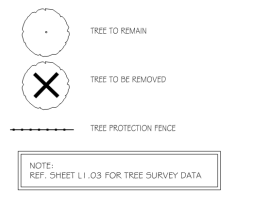
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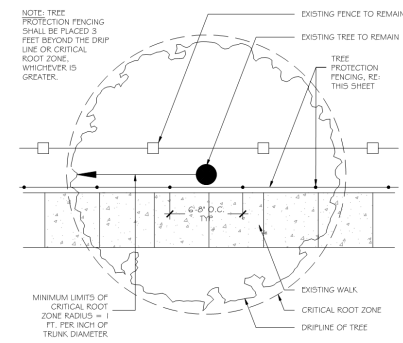
TREE MITIGATION NOTES

- CERTIFIED ARBORIST:
 - SHALL BE APPROVED BY OWNER AND MUST BE ISA CERTIFIED. ARBORIST TO PROVIDE DIRECTION FOR TREE PRESERVATION, AS WELL AS, DOCUMENTING AND INSURING GUIDELINES AND REGULATIONS CONFORM TO STANDARDS. CERTIFIED ARBORIST TO CONFER WITH OWNERS ARBORIST TO PROPERLY PRESERVE TREE. IN CASE OF DISCREPANCY BETWEEN SHAREHOLDERS THE OWNER SHALL MAKE FINAL DECISIONS REGARDING TREE PRESERVATION. PRIOR TO BID MUST VISIT SITE TO NOTE ALL TREE PRESERVATION PARAMETERS. MUST BE ONSITE DURING THE DURATION OF THE CONTRACT WHERE WORK IMPROVES LOCAL THE DIRECTION OF THE TREE.
 - PROCEDURES REQUIRED PRIOR TO CONSTRUCTION: THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS.
 - DURING PRE-CONSTRUCTION, TREES TO BE REMOVED SHOULD BE REMOVED FROM THE SITE IN A MANNER TO AVOID INJURY TO REMAINING TREES, INCLUDING THE REMOVAL OF STUMPS AND/OR ROOT SYSTEMS. HEAVY EQUIPMENT SHALL NOT ENCRONCH ON THE ROOT SYSTEMS OF TREES TO BE RETAINED OR OTHER TREES OF HIGH VALUE. IF NECESSARY, TREES SHOULD BE REMOVED MANUALLY WITH CHAIN SAWS, AND STUMPS SHOULD BE GROUND OUT INSTEAD OF USING HEAVY EQUIPMENT.
 - CRITICAL ROOT ZONES SHALL BE ESTABLISHED AND MAINTAINED FOR ALL TREES TO BE CONSERVED ON A CONSTRUCTION SITE. THIS AREA MAY BE ADJUSTED FOR EXISTING BUILDINGS, WALKWAYS, AND ROADS BY PERMISSION OF OWNER. BARRICADES SHALL BE 4 FOOT HIGH ORANGE VINYL CONSTRUCTION FENCE OR CHAINLINK FENCE. SIGNS, IN ENGLISH AND SPANISH SHALL BE PLACED VISIBLE FROM ALL DIRECTIONS, ALONG THE FENCE TO INFORM WORKERS OF THE PURPOSE OF THE BOUNDARY. THE BARRIER AND PROPER SIGNAGE SHALL BE INSTALLED PRIOR TO ANY SITE PREPARATION AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILDUP WITHIN THE TREE DRIP LINE. APPLY 4 INCHES OF COURSE MULCH WITHIN PROTECTION AREAS TO HELP REDUCE MOISTURE STRESS AND REDUCE MAINTENANCE.
 - WHERE EXCAVATIONS ARE PERFORMED WITHIN THE ROOT ZONE OF TREES, TRENCHING SHOULD BE PERFORMED MANUALLY, OR BY USING A VIBRATORY LOW DIRECTIONAL BORE, OR BY AIR SPADING. BACKHOES SHALL NOT BE USED TO RIP ROOTS AT CONSIDERABLE DISTANCES FROM THE POINT OF EXCAVATION. WHEN TRENCHING OR MODIFICATION THE ROOT ZONE ENCRONCHES HEAVILY ONTO ESTABLISHED TREES, A ROOT PRUNING METHOD SHOULD BE EMPLOYED WHERE THE ROOTS ARE EXPOSED AND TRIMMED WITH PROPER PRUNING TOOLS SEVERAL INCHES TO THE SIDE OF THE TRENCH BORDERING THE TRUNK OF THE AFFECTED TREE. TEARING OF ROOTS IS TO BE AVOIDED. SUPPLEMENTAL IRRIGATION SHALL BE NEEDED IF ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH TO THE SOIL AND SEALED USING LAC-BASED. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE I.E. WITHIN THE SAME WORKDAY. IF ROOTS ARE NOT BACKFILLED WITHIN THIS TIME, THEY SHALL BE COVERED WITH ORGANIC MATERIAL SUCH AS COMPOSTED MULCH TO A DEPTH OF 4 INCHES, WHICH WILL REDUCE TEMPERATURE AND MINIMIZE WATER LOSS DUE TO EVAPORATION. IN AREAS WHERE RETAINING WALLS OR OTHER TYPES STRUCTURES FORM A CLOSED BORDER AROUND THE ROOT SYSTEM IS TO BE REMOVED, ANY ROOTS THAT ARE INJURED DURING THE REMOVAL PROCESS OF THE RETAINING WALL SHOULD BE PROPERLY PRUNED AND SEALED PREVIOUSLY DESCRIBED ABOVE. EXPOSED ROOTS MUST BE COVERED DURING THE SAME WORKDAY WITH SOIL, MULCH OR OTHER ORGANIC MATERIAL. THE USE OF A SILT FENCE OR OTHER TEMPORARY SOIL RETENTION MATERIAL SHOULD BE USED TO INSURE THAT ROOTS REMAIN COVERED UNTIL THE RECONSTRUCTION OF THE NEW WALL.
 - ALL TREES DIRECTLY ADJACENT TO BUILDINGS SHOULD BE PRUNED FOR CANOPY RAISING TO PROVIDE A MINIMUM OF 4 TO 6 FEET OF CLEARANCE OVER THE BUILDINGS AS WELL AS CANOPY REDUCTION PRUNING TO PROVIDE A MINIMUM OF 2 FEET CLEARANCE AWAY FROM THE SIDES OF BUILDINGS. A CERTIFIED ARBORIST SHOULD ASSESS EACH TREE FOR PRUNING NEEDS PRIOR TO THE CONSTRUCTION TO MAKE APPROPRIATE RECOMMENDATIONS. THE ARBORIST SHOULD ALSO INSPECT EACH TREE TO INSURE PROPER PRUNING TECHNIQUE AND/OR BEST MANAGEMENT PRACTICES WERE USED IN PRUNING FOR CLEARANCE.
- THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE SUBJECT TO THE REQUIREMENTS OF THE CITY ORDINANCE.
 - MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO DECAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
 - EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS DEPOSITED OR ALLOWED TO FLOW OVERLAND WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.
 - TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
 - VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF CLEARING, UNDERBUSH, ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
 - GRADE CHANGES: NO GRADE CHANGES SHALL BE ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE UNLESS ADEQUATE CONSTRUCTION METHODS ARE APPROVED BY THE LANDSCAPE ARCHITECT.
 - IMPERVIOUS PAVING: NO PAVING WITH ASPHALT, CONCRETE OR OTHER IMPERVIOUS MATERIALS THAT MAY REASONABLY BE EXPECTED TO KILL A TREE SHALL BE PLACED WITHIN THE LIMITS OF CRITICAL ROOT ZONE OF A PROTECTED TREE EXCEPT AS OTHERWISE ALLOWED IN THE CITY ORDINANCE.
- PROHIBITED ACTIVITIES IN DRIP-LINE: NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS SHALL BE ALLOWED INSIDE THE DRIP-LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT THE SPECIFIC APPROVAL OF THE LANDSCAPE ARCHITECT.
- TREES THAT WERE PREVIOUSLY IRRIGATED SHALL BE IRRIGATED DURING CONSTRUCTION, THEY SHALL RECEIVE A MIN. OF ONE INCH OF WATER PER WEEK FROM THE COMBINATION OF RAINFALL AND IRRIGATION. TREES WITH ROOT DAMAGE SHALL RECEIVE TWO INCHES OF WATER PER WEEK FROM COMBINATION OF RAINFALL AND IRRIGATION.
- CONTRACTOR RESPONSIBLE FOR ANY DAMAGE TO TREES THAT ARE TO REMAIN, CONTRACTOR TO INSTALL NEW TREE OF EQUIVALENT SIZE IF DAMAGED DURING CONSTRUCTION.

TREE PRESERVATION LEGEND



2 TREE PROTECTION FENCING
3/4" = 1'-0"



3 TREE PROTECTION PLAN - FENCING
3/16" = 1'-0"



NOTE: TREE SURVEY DATA PROVIDED BY KETTON SURVEYING COMPANY

OWNER REPRESENTATIVE/DEVELOPER:
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 653-9775

LANDSCAPE ARCHITECT:
MARK R. COLBY, RLA
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

INTERIM REVIEW
THIS DOCUMENT IS APPROVED FOR REVIEW ONLY AND NOT FOR CONSTRUCTION. PERMISSION FOR REVISIONS MUST BE OBTAINED FROM THE ARCHITECT.
DATE: 11/03/2020

NO.	DATE	REVISION
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL
NO.	DATE	ISSUE

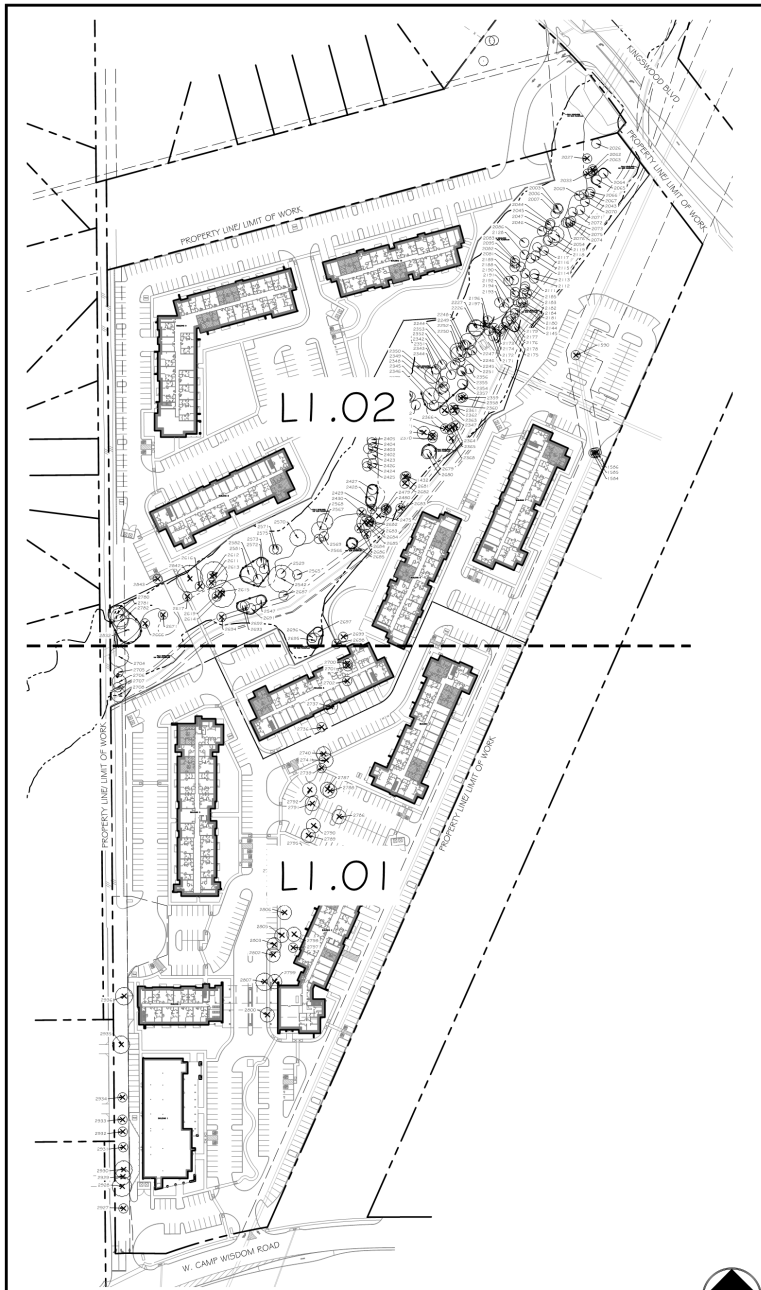
Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-144339 TX REG. SURVEYING FIRM LS-10193805

TREE PRESERVATION PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L1.00

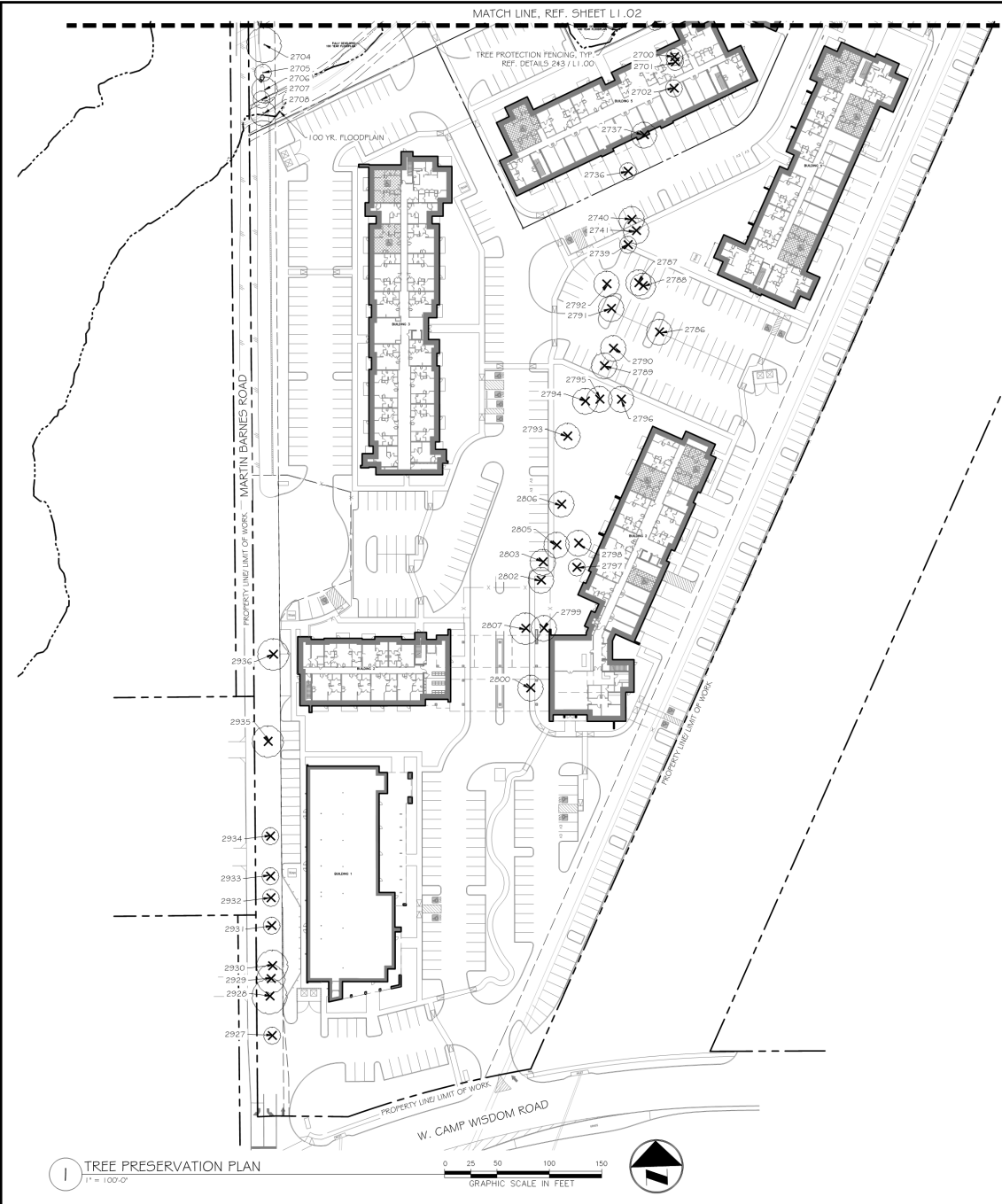
CASE # S201203

PK FILE: 3989-20.057






1 TREE PRESERVATION PLAN
1" = 100'-0"

CAMP WISDOM VILLAGE, GRAND PRAIRIE, TEXAS



TREE PRESERVATION LEGEND

-  TREE TO REMAIN
-  TREE TO BE REMOVED
-  TREE PROTECTION FENCE

NOTE:
REF. SHEET L1.03 FOR TREE SURVEY DATA

OWNER REPRESENTATIVE/DEVELOPER:
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 663-9775

LANDSCAPE ARCHITECT:
MARK R. COLBY, FLSA
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

INTERIM REVIEW
THIS DOCUMENT HAS BEEN REVIEWED FOR
GENERAL CONCEPT ONLY AND NOT FOR
CONSTRUCTION OR PERMITS. CONTACT US
FOR MORE INFORMATION NUMBER 3031

NO.	DATE	ISSUE
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL

NO.	DATE	REVISION

Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193802

TREE PRESERVATION PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L1.01

NOTE:
TREE SURVEY DATA PROVIDED BY
KEETON SURVEYING COMPANY

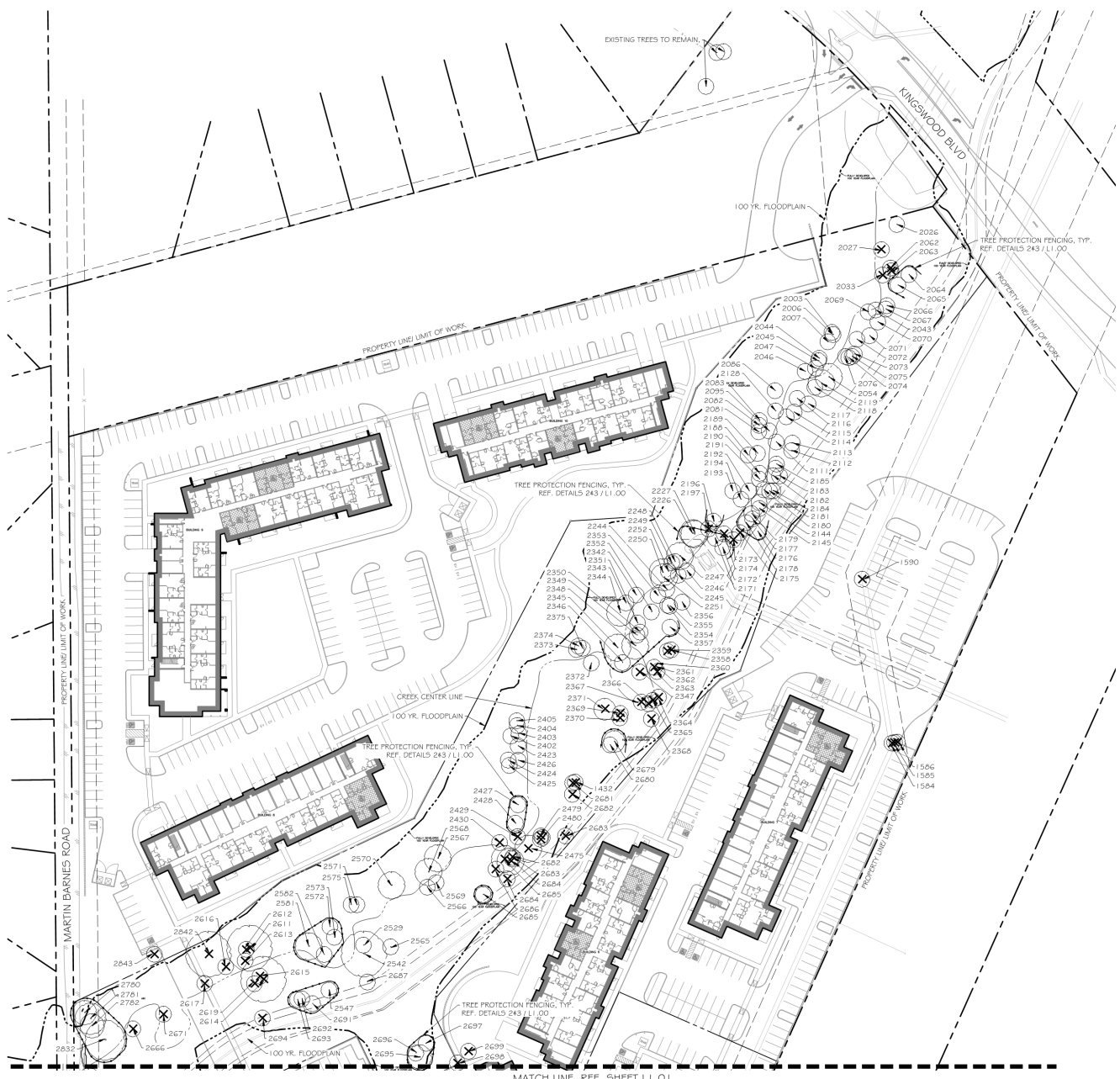
CASE # S201203

PK FILE: 3989-20.057




TREE PRESERVATION PLAN
1" = 100'-0"



CAMP WISDOM VILLAGE, GRAND PRAIRIE, TEXAS



TREE PRESERVATION LEGEND

-  TREE TO REMAIN
-  TREE TO BE REMOVED
-  TREE PROTECTION FENCE

NOTE:
REF. SHEET L1_03 FOR TREE SURVEY DATA

OWNER REPRESENTATIVE/DEVELOPER:
HAMILTON PEGR
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 663-9775

INTERIM REVIEW
THIS DOCUMENT HAS NOT BEEN REVIEWED BY THE ARCHITECT FOR CONFORMANCE WITH THE TEXAS REGISTERED LANDSCAPE ARCHITECT ACT.
REGISTRATION NUMBER: 5128

LANDSCAPE ARCHITECT:
MARK R. COLETT, P.L.A.
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

NO.	DATE	REVISION
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL

NO.	DATE	REVISION

Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193805

**TREE PRESERVATION PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L1.02

NOTE:
TREE SURVEY DATA PROVIDED BY
KEETON SURVEYING COMPANY

CASE # S201203

PK FILE: 3989-20.057

1 TREE PRESERVATION PLAN
1" = 30'-0"

MATCH LINE, REF. SHEET L1_01



TREE SURVEY FIELD DATA				
TREE ID	DIA (INCHES)	TREE SPECIES (COMMON NAME)	REMOVE/REMAIN	TREE CREDITS
1432	6	CEDAR ELM	REMOVE	0
1544	6	CHINABERRY	REMOVE	0
1545	8	CHINABERRY	REMOVE	0
1586	10	CHINABERRY	REMOVE	0
1590	6	LOCUST	REMOVE	0
1614	8	HACKBERRY	REMAIN	2
1634	8	HACKBERRY	REMAIN	2
1635	8	HACKBERRY	REMAIN	2
2003	12	HACKBERRY	REMAIN	3
2006	12	CEDAR ELM	REMAIN	3
2007	8	CEDAR ELM	REMAIN	2
2026	10	CEDAR ELM	REMAIN	3
2027	12	CEDAR	REMOVE	0
2033	32	CEDAR ELM	REMOVE	0
2043	8	CEDAR ELM	REMAIN	2
2044	12	CEDAR ELM	REMAIN	3
2045	6	HACKBERRY	REMAIN	1
2046	6	CEDAR ELM	REMAIN	1
2047	6	CEDAR	REMAIN	1
2054	18	CEDAR ELM	REMAIN	5
2062	6	BOIS D ARC	REMOVE	0
2063	6	CEDAR ELM	REMOVE	0
2064	6	CEDAR	REMAIN	1
2065	6	CHINABERRY	REMAIN	1
2066	14	CEDAR ELM	REMAIN	5
2067	10	CEDAR ELM	REMAIN	3
2068	8	HACKBERRY	REMAIN	2
2069	10	ASH	REMAIN	3
2070	6	HACKBERRY	REMAIN	1
2071	12	OAK	REMAIN	3
2072	12	ASH	REMAIN	3
2073	10	CEDAR ELM	REMAIN	3
2074	10	OAK	REMAIN	3
2075	6	HACKBERRY	REMAIN	1
2076	6	HACKBERRY	REMAIN	1
2081	8	HACKBERRY	REMAIN	2
2082	8	HACKBERRY	REMAIN	2
2083	6	HACKBERRY	REMAIN	1
2086	6	HACKBERRY	REMAIN	1
2089	6	BOIS D ARC	REMOVE	0
2111	20	CEDAR ELM	REMAIN	5
2112	6	BOIS D ARC	REMAIN	1
2113	10	BOIS D ARC	REMAIN	3
2114	6	CEDAR ELM	REMAIN	1
2115	8	CEDAR ELM	REMAIN	2
2116	12	BOIS D ARC	REMAIN	3
2117	12	BOIS D ARC	REMAIN	3
2118	12	BOIS D ARC	REMAIN	3
2119	12	CEDAR ELM	REMAIN	3
2128	14	CEDAR ELM	REMAIN	5
2144	12	HACKBERRY	REMAIN	3
2145	6	CEDAR	REMAIN	1
2171	16	WILLOW	REMAIN	5
2172	6	CHINABERRY	REMAIN	1
2173	6	CEDAR ELM	REMOVE	0
2174	6	HACKBERRY	REMOVE	0
2175	6	HACKBERRY	REMOVE	0
2176	6	CEDAR ELM	REMAIN	1
2177	8	CEDAR ELM	REMAIN	2
2178	10	BOIS D ARC	REMAIN	3
2179	10	CHINABERRY	REMAIN	2
2180	6	ASH	REMAIN	1
2181	8	ASH	REMAIN	2
2182	6	HACKBERRY	REMAIN	1
2183	6	CEDAR ELM	REMAIN	1
2184	6	CEDAR ELM	REMAIN	1
2185	8	HACKBERRY	REMAIN	2
2186	12	HACKBERRY	REMAIN	3
2188	6	BOIS D ARC	REMAIN	1
2189	6	HACKBERRY	REMAIN	1
2190	12	BOIS D ARC	REMAIN	3
2191	8	CEDAR ELM	REMAIN	2
2192	6	ASH	REMAIN	1
2193	10	CEDAR ELM	REMAIN	3
2194	6	CEDAR ELM	REMAIN	1
2195	12	HACKBERRY	REMAIN	3
2196	6	CEDAR ELM	REMAIN	1
2197	12	HACKBERRY	REMAIN	3
2226	16	HACKBERRY	REMAIN	5
2227	16	HACKBERRY	REMAIN	5
2244	12	BOIS D ARC	REMAIN	3
2245	16	CEDAR ELM	REMAIN	5
2246	6	CEDAR ELM	REMAIN	1
2247	16	CEDAR ELM	REMAIN	5
2248	8	CEDAR	REMAIN	2
2249	8	LOCUST	REMAIN	2
2250	12	CEDAR ELM	REMAIN	3
2251	24	CEDAR ELM	REMAIN	6
2252	6	CEDAR ELM	REMAIN	1
2242	6	LOCUST	REMAIN	1
2343	6	OAK	REMAIN	1
2344	12	CEDAR ELM	REMAIN	3
2345	28	OAK	REMAIN	6
2346	12	CHINABERRY	REMAIN	3
2347	10	OAK	REMAIN	3
2348	14	OAK	REMAIN	5
2349	14	BOIS D ARC	REMAIN	5
2350	16	BOIS D ARC	REMAIN	5
2351	12	OAK	REMAIN	3
2352	12	BOIS D ARC	REMAIN	3

TREE SURVEY FIELD DATA				
TREE ID	DIA (INCHES)	TREE SPECIES (COMMON NAME)	REMOVE/REMAIN	TREE CREDITS
2353	14	BOIS D ARC	REMAIN	5
2354	8	BOIS D ARC	REMAIN	2
2355	6	BOIS D ARC	REMAIN	1
2356	6	BOIS D ARC	REMAIN	1
2357	24	BOIS D ARC	REMAIN	6
2358	10	CEDAR ELM	REMOVE	0
2359	6	CEDAR ELM	REMOVE	0
2360	8	BOIS D ARC	REMOVE	0
2361	8	BOIS D ARC	REMOVE	0
2362	8	BOIS D ARC	REMOVE	0
2363	12	BOIS D ARC	REMOVE	0
2364	8	OAK	REMOVE	0
2365	26	WILLOW	REMOVE	0
2366	8	OAK	REMOVE	0
2367	10	OAK	REMOVE	0
2368	6	OAK	REMOVE	0
2369	10	BOIS D ARC	REMOVE	0
2370	10	BOIS D ARC	REMOVE	0
2371	26	OAK	REMOVE	1
2372	6	BOIS D ARC	REMAIN	1
2373	6	OAK	REMAIN	1
2374	8	OAK	REMAIN	2
2375	6	HACKBERRY	REMAIN	1
2402	10	CEDAR	REMAIN	3
2403	12	CEDAR ELM	REMAIN	3
2404	6	CHINABERRY	REMAIN	1
2405	6	CEDAR	REMAIN	1
2406	10	CHINABERRY	REMAIN	3
2424	18	OAK	REMAIN	6
2425	18	BOIS D ARC	REMAIN	6
2426	10	CEDAR	REMAIN	3
2427	8	CEDAR	REMAIN	2
2428	8	CEDAR	REMAIN	2
2429	6	CEDAR	REMOVE	0
2430	8	CEDAR ELM	REMOVE	0
2475	16	OAK	REMOVE	0
2479	8	CEDAR	REMOVE	0
2480	16	WILLOW	REMOVE	0
2481	14	OAK	REMAIN	5
2482	6	OAK	REMAIN	1
2483	8	HACKBERRY	REMAIN	2
2484	12	OAK	REMAIN	3
2485	6	OAK	REMAIN	1
2486	24	OAK	REMAIN	6
2529	10	OAK	REMAIN	3
2542	18	OAK	REMAIN	6
2547	8	OAK	REMAIN	2
2565	6	OAK	REMAIN	1
2566	8	ASH	REMAIN	3
2567	12	OAK	REMAIN	3
2568	14	OAK	REMAIN	5
2569	10	CEDAR	REMAIN	3
2570	24	OAK	REMAIN	6
2571	32	OAK	REMAIN	6
2572	8	CHINABERRY	REMAIN	2
2573	6	CEDAR	REMAIN	1
2575	6	CHINABERRY	REMAIN	0
2581	30	OAK	REMAIN	6
2582	8	CEDAR	REMAIN	2
2611	18	WILLOW	REMOVE	0
2612	6	CEDAR	REMOVE	0
2613	10	CEDAR	REMOVE	0
2614	40	OAK	REMOVE	0
2615	12	OAK	REMOVE	0
2616	6	CEDAR	REMOVE	0
2617	2	OAK	REMOVE	0
2619	6	CEDAR	REMOVE	0
2666	8	CEDAR	REMOVE	0
2671	10	CEDAR	REMOVE	0
2677	8	CHINABERRY	REMAIN	2
2678	6	CHINABERRY	REMAIN	1
2691	6	CHINABERRY	REMAIN	1
2692	10	BOIS D ARC	REMAIN	3
2693	10	BOIS D ARC	REMAIN	3
2694	6	OAK	REMOVE	0
2695	6	CHINABERRY	REMAIN	2
2696	6	CHINABERRY	REMAIN	1
2697	6	CHINABERRY	REMAIN	1
2698	10	CHINABERRY	REMOVE	0
2699	6	CHINABERRY	REMOVE	0
2700	8	CHINABERRY	REMOVE	0
2701	6	CHINABERRY	REMOVE	0
2702	8	CHINABERRY	REMOVE	0
2704	40	OAK	REMAIN	6
2705	6	BOIS D ARC	REMAIN	1
2706	12	OAK	REMAIN	3
2707	8	OAK	REMAIN	2
2708	10	OAK	REMAIN	3
2736	8	CHINABERRY	REMOVE	0
2737	8	CHINABERRY	REMOVE	0
2739	6	CHINABERRY	REMOVE	0
2740	8	CHINABERRY	REMOVE	0
2741	6	CHINABERRY	REMOVE	0
2780	10	BOIS D ARC	REMAIN	3

TREE SURVEY FIELD DATA				
TREE ID	DIA (INCHES)	TREE SPECIES (COMMON NAME)	REMOVE/REMAIN	TREE CREDITS
2781	28	OAK	REMAIN	6
2782	10	BOIS D ARC	REMAIN	3
2783	6	CHINABERRY	REMOVE	0
2784	6	CHINABERRY	REMOVE	0
2785	6	CHINABERRY	REMOVE	0
2786	6	CHINABERRY	REMOVE	0
2787	8	CHINABERRY	REMOVE	0
2788	6	CHINABERRY	REMOVE	0
2791	14	CHINABERRY	REMOVE	0
2792	17	CHINABERRY	REMOVE	0
2793	11	CHINABERRY	REMOVE	0
2794	14	CHINABERRY	REMOVE	0
2795	10	CHINABERRY	REMOVE	0
2796	13	CHINABERRY	REMOVE	0
2797	11	CHINABERRY	REMOVE	0
2798	16	CHINABERRY	REMOVE	0
2799	14	CHINABERRY	REMOVE	0
2800	15	CHINABERRY	REMOVE	0
2802	16	HACKBERRY	REMOVE	0
2803	19	CHINABERRY	REMOVE	0
2805	16	CHINABERRY	REMOVE	0
2806	12	CHINABERRY	REMOVE	0
2807	19	CHINABERRY	REMOVE	0
2832	32	OAK	REMAIN	6
2842	36	OAK	REMOVE	0
2843	9	CHINABERRY	REMOVE	0
2927	8	HACKBERRY	REMOVE	0
2928	20	OAK	REMOVE	0
2929	10	HACKBERRY	REMOVE	0
2930	18	HACKBERRY	REMOVE	0
2931	6	HACKBERRY	REMOVE	0
2932	6	OAK	REMOVE	0
2933	8	HACKBERRY	REMOVE	0
2934	6	HACKBERRY	REMOVE	0
2935	10	HACKBERRY	REMOVE	0
2936	12	OAK	REMOVE	0

TREE MITIGATION SUMMARY		
TREE CALIPR INCHES REMOVED:		1,006
TREE CREDITS:		411
NEW TREE INCHES PLANTED (20% TOLER @ 3" CAL.)		618

NOTE: TREE CREDITS TO BE APPLIED EQUALLY BETWEEN DEVELOPMENT PHASES 1-3. (411 CREDITS / 3) = 137 TREE CREDITS PER PHASE

OWNER REPRESENTATIVE/DEVELOPER:
 HAMILTON PECK
 HAMILTON COMMERCIAL
 1600 EAST PIONEER PARKWAY, SUITE 550
 ARLINGTON, TEXAS 76010
 PHONE: (972) 663-9775

INTERIM REVIEW
 THIS REVIEW IS NOT
 A FINAL REVIEW OF THE PROJECT
 AND DOES NOT CONSTITUTE
 A GUARANTEE OF THE
 ACCURACY OF THE INFORMATION
 PROVIDED HEREIN.
 THIS REVIEW NUMBER 2120

LANDSCAPE ARCHITECT:
 MARK R. COLBY, RLA
 PACHECO KOCH CONSULTING ENGINEERS
 7557 RAMBLER ROAD, SUITE 1400
 DALLAS, TEXAS 75231
 PHONE: (972) 235-3033

NO.	DATE	ISSUE
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	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL
NO.	DATE	REVISION

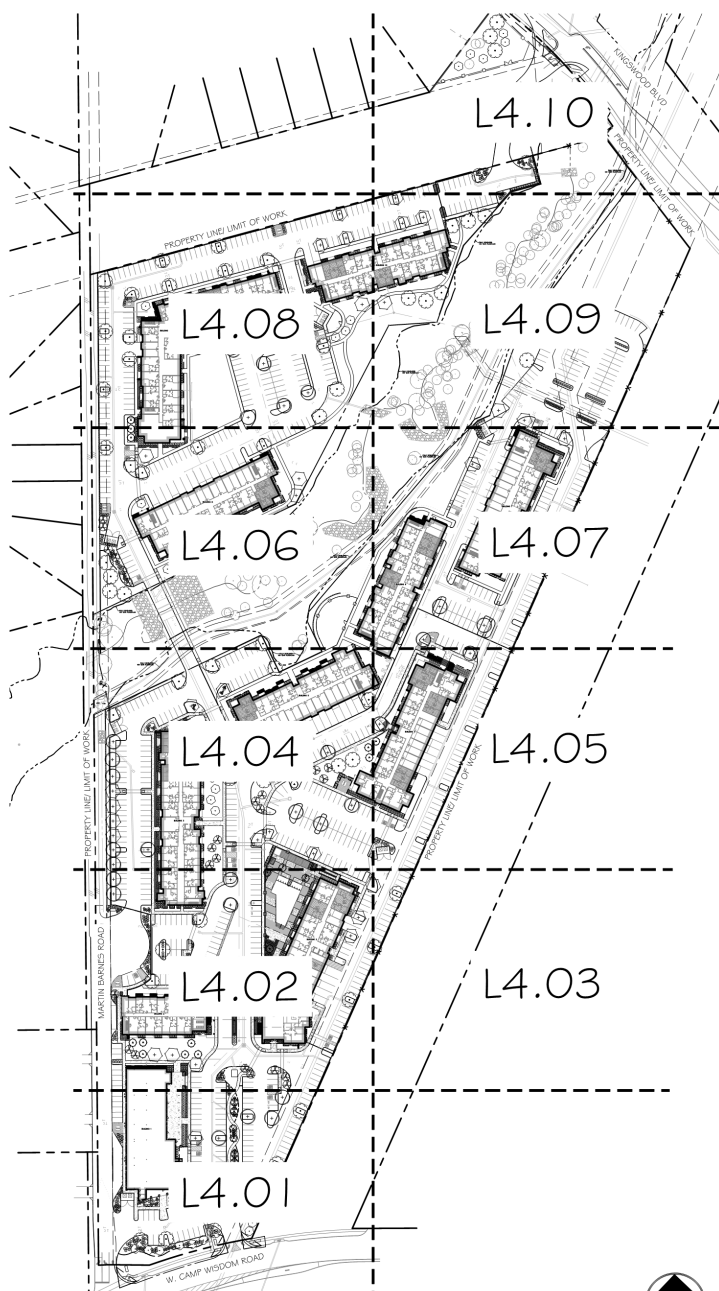
Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400
 DALLAS, TX 75231 972.235.3033
 TX REG. ENGINEERING FIRM #144339
 TX REG. SURVEYING FIRM LS-10192805

**TREE SURVEY DATA
 CAMP WISDOM VILLAGE
 W. CAMP WISDOM ROAD
 & MARTIN BARNES ROAD
 CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS**

NOTE:
 TREE SURVEY DATA PROVIDED BY
 KEETON SURVEYING COMPANY

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L1.03

CASE # S201203



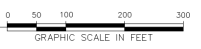
PLANTING GENERAL NOTES

1. ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
2. FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
3. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
4. WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
5. IT IS PREFERABLE THAT NO TREE BE STAKED. HOWEVER, CONDITIONS AND PLANT MATERIAL SIZE MAY NECESSITATE STAKING. THE OWNERS REP SHALL DETERMINE IF SUPPORT IS NEEDED AND SHALL DIRECT THE CONTRACTOR ACCORDINGLY.
6. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
7. ALL PLANT MATERIALS SHALL MEET ANSI Z60.1 STANDARDS FOR CALIF. HEIGHT AND ROOT BALL SIZE. ANY MATERIALS THAT DO NOT MEET OR EXCEED SUCH STANDARDS SHALL BE REJECTED AND REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PLANT BEDS TO RECEIVE DARK MULCH UNLESS OTHERWISE NOTED.
8. BALLED AND BURLAPPED TREES SHALL HAVE THE TOP HALF OF THE WIRE BASKET REMOVED. THE BURLAP SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE, USING A KNIFE TO CUT AND REMOVE THE BOTTOM HALF UNDER THE WIRE BASKET THAT REMAINS.
9. QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE/COND.	REMARKS	
	PC	32	PISTACIA CHINENSIS CHINESE PISTACHE	8" # B	3" CAL. SINGLE, STRAIGHT LEADER, MATCHING	
	QF	59	QUERCUS VIRGINIANA LIVE OAK	8" # B	3" CAL. SINGLE, STRAIGHT LEADER, MATCHING	
	UC	35	ULMUS PARVIFOLIA LACEBARK ELM	8" # B	3" CAL. SINGLE, STRAIGHT LEADER, MATCHING	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE/COND.	REMARKS	
	CT	29	CERCIS CANADENSIS 'TEXENSIS' EASTERN REDBUD	65 GAL	3" CAL. SINGLE, STRAIGHT LEADER, MATCHING	
	LN	26	LAGERSTROEMIA 'NATCHEZ' GRAPE MYRTLE	65 GAL	3" CAL. MULTI-TRUNK, FULL MATCHING	
	VC	25	VITEX AGNIUS-CASTUS CHASTE TREE	65 GAL	3" CAL. MULTI-TRUNK, FULL MATCHING	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	AGE	351	ABELIA X GRANDIFLORA 'EDWARD GOULCHER' GLOSSY ABELIA	5 GAL	48" o.c.	FULL MATCHING
	DN	527	DRYOPTERIS NORMALIS WOOD FERN	5 GAL	30" o.c.	HEAVILY ROOTED, FULL MATCHING
	ID	410	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY	5 GAL	48" o.c.	FULL MATCHING
	LFG	235	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER	5 GAL	48" o.c.	FULL MATCHING
	PW	191	PITTIOSPORUM TOBIRA 'WHEELERS DWARF' WHEELER'S DWARF PITTIOSPORUM	5 GAL	36" o.c.	FULL MATCHING
	RT2	260	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	5 GAL	48" o.c.	FULL MATCHING
	SH	309	SALVIA GREGGII AUTUMN SAGE	5 GAL	36" o.c.	FULL MATCHING
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	LG	705	LIRIOPE GIGANTEA GIANT LIRIOPE	5 GAL	24" o.c.	FULL MATCHING
	SH	411	SALVIA X 'MAY NIGHT' BLUE SAGE	5 GAL	24" o.c.	FULL MATCHING
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
	CD	161,712 SF	CYNODON DACTYLON BERMUDA GRASS	SOD		SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE.

OVERALL PLANTING PLAN
1" = 100'-0"



LANDSCAPE REQUIREMENTS TABLE- ARTICLE 6 # PD-376

ZONING: PD-376

SITE DATA

GROSS SITE AREA: 1,166,296 SF (26.77 ACRES)
 BUILDING FOOTPRINT: 202,720 SF
 IMPERVIOUS AREA: 41,071.3 SF

LANDSCAPE REQUIREMENTS ART. 6	REQUIRED	PROVIDED
15% OF SITE SHALL BE LANDSCAPED (1,166,296 X .15) =	(174,944) 174,936 SF	189,452 SF
UP TO 40% OF REQUIRED LANDSCAPE AREA SHALL BE GRASS, GROUNDCOVER OR ORGANIC MULCH. (1,174,936 X .40) = 469,974.2	UP TO 69,974 SF	157,261 SF TURF

PARKING LOT TREES SHALL EQUAL TO CANOPY TREE PER 20 SPACES

(820 PARKING SPACES / 20) = 41 TREES	41 TREES	93 PARKING ISLAND TREES
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MINIMUM STREET TREES TO EQUAL 1 PER 50 LF OF STREET FRONTAGE FOR COLLECTOR AND ARTERIAL ROADS:

CAMP WISDOM ROAD - (242 LF)SD = 4.84 TREES	5 TREES	8 ORNAMENTAL TREES PROVIDED, DUE TO OVERHEAD UTILITY ADJACENCY
KIRKWOOD BLVD - (240 LF)SD = 4.8 TREES	5 TREES	NONE PROVIDED, OVERHEAD ELECTRIC LINES AND EASEMENTS LOCATED ALONG FRONTAGE

MINIMUM SITE TREES TO EQUAL (1) 3" CAL. TREE PER 500 SF OF REQUIRED LANDSCAPE AREA

(174,936 SF / 500) = 349.87 TREES	350 TREES	206 PROPOSED 3" CAL. TREES 144 EXISTING TREES TO REMAIN
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MINIMUM SHRUBS TO EQUAL (1) 5 GAL SHRUB PER 50 SF OF REQUIRED LANDSCAPE AREA

(174,936 SF / 50) = 3,498.8 TWY GALLON SHRUBS	3,499 SHRUBS	3,499 SHRUBS PROVIDED
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LANDSCAPE REQUIREMENTS (PD-376)

REQUIREMENTS	REQUIRED	PROVIDED
STREET TREES & OTHER LANDSCAPE PLANTINGS SHALL BE PROVIDED ALONG MARTIN BARNES ROAD AND SHALL BE SUFFICIENT TO BLOCK VIEW AND DIRECT TRAFFIC FROM MULTIFAMILY UNITS INTO BACKYARDS AND WINDOW OF SINGLE-FAMILY DWELLINGS.	YES	YES CANOPY & ORNAMENTAL TREES PROVIDED
PLANT TREES ALONG THE WEST SIDE OF THE FENCE IN ITS ENTIRETY AND LANDSCAPE THE REMAINING LPHCA PROPERTY TO PROTECT ADJACENT PROPERTIES FROM VEHICULAR NOISE AND HEADLIGHTS.	YES	NO OVERHEAD ELECTRIC LINES AND EASEMENTS

IRRIGATION GENERAL NOTES

1. ALL REQUIRED IRRIGATION SHALL BE INSTALLED BY A LICENSED IRRIGATOR.
2. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE IRRIGATION RULES PROMULGATED BY THE TEXAS COMMISSION ON THE ENVIRONMENTAL QUALITY (TCEQ) OR SUCCESSOR AGENCY, AS THE SAME MAY BE FROM TIME TO TIME AMENDED, AND ANY APPLICABLE ADOPTED CITY PLUMBING CODES.
3. IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE THE APPROPRIATE ZONE WIRING BACK TO THE EXISTING SYSTEM CONTROLLER, INCLUDING ANY DATA OR SYSTEM CONTROL VALVE WIRING AS REQUIRED.
4. ALL IRRIGATION SYSTEMS SHALL UTILIZE PRESSURE REGULATING SPRAY HEADS AND ROTOR BODIES IN ORDER TO REDUCE SYSTEM MISTING AND AID IN PROPER WATER PLACEMENT. ALL PRESSURE REGULATING DEVICES SHALL BE INSTALLED PER THE MANUFACTURER'S DIRECTIONS.
5. ALL IRRIGATION SYSTEMS SHALL USE A BACKFLOW PREVENTION DEVICE.
6. ALL PLANTER BEDS SHALL HAVE DRIP IRRIGATION.
7. ALL SEEDED AREAS SHALL HAVE TEMPORARY IRRIGATION TILL ESTABLISHED.
8. ALL IRRIGATION SYSTEMS SHALL MEET THE REQUIREMENTS OF UDC.

OWNER REPRESENTATIVE/DEVELOPER:
 HAMILTON PEOR
 HAMILTON COMMERCIAL
 1600 EAST PIONEER PARKWAY, SUITE 550
 ARLINGTON, TEXAS 76010
 PHONE: (972) 663-9775

LANDSCAPE ARCHITECT:
 MARK R. COLEBY, P.L.L.C.
 PACHECO KOCH CONSULTING ENGINEERS
 7557 RAMBLER ROAD, SUITE 1400
 DALLAS, TEXAS 75231
 PHONE: (972) 235-3031

INTERIM REVIEW
 THESE DOCUMENTS ARE REVIEWED BY THE ARCHITECT FOR CONFORMANCE WITH THE REQUIREMENTS OF THE CITY OF GRAND PRAIRIE, TEXAS.
 REVIEWED: []
 DATE: []

NO.	DATE	REVISION
	03/03/2021	SITE PLAN SUBMITTAL
	12/19/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL

Pacheco Koch
 7557 RAMBLER ROAD, SUITE 1400
 DALLAS, TX 75231 972.235.3031
 TX REG. ENGINEERING FIRM F-14439
 TX REG. SURVEYING FIRM LS-10193805

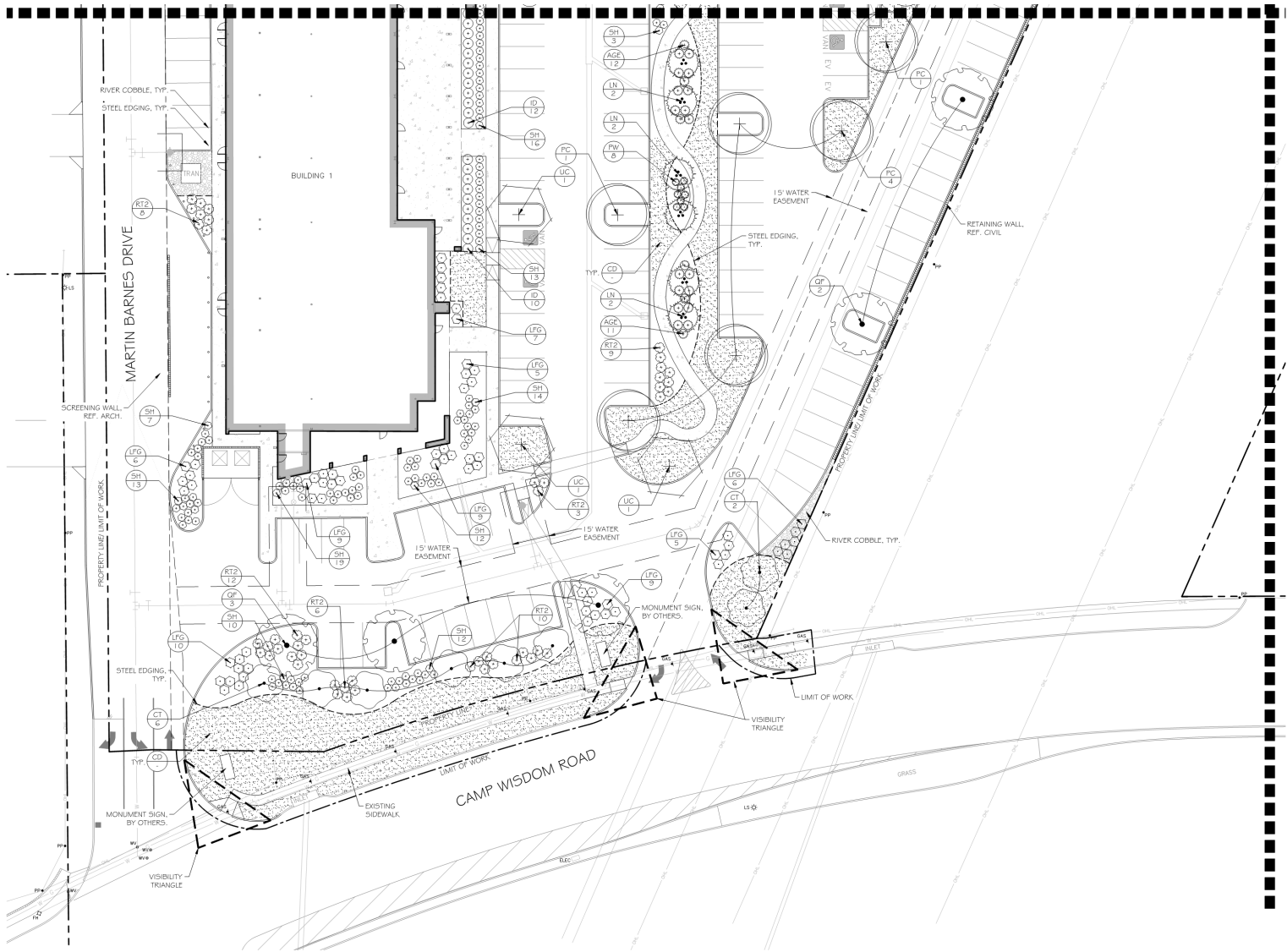
**OVERALL PLANTING PLAN
 CAMP WISDOM VILLAGE
 W. CAMP WISDOM ROAD
 & MARTIN BARNES ROAD
 CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.00

CASE # S201203

PK FILE: 3989-20.057

MATCH LINE SEE SHEET L4.02



PLANT LEGEND

- TREES**
- PC PISTACIA CHINENSIS
CHINESE PISTACHE
 - QF QUERCUS VIRGINIANA
LIVE OAK
 - UC ULMUS PARVIFOLIA
LACZBARK ELM
- ORNAMENTAL TREES**
- CT CERCIS CANADENSIS 'TEKENSIS'
EASTERN REDBUD
 - LN LAGERSTROEMIA X 'NATCHEZ'
GRAPE MYRTLE
 - VC VITEX ACALUIS-CASTUS
CHAISTE TREE
- SHRUBS**
- AGE ABELIA X GRANDIFLORA 'EDWARD GOUCHER'
GLOSSY ABELIA
 - DN DRYOPTERIS NORMALIS
WOOD FERN
 - ID ILEX CORNUTA 'DWARF BURFORD'
DWARF BURFORD HOLLY
 - LFG LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM
GREEN CLOUD TEXAS RANGER
 - PW FITTOSPORUM TOBIRA 'WHEELERS DWARF'
WHEELER'S DWARF FITTOSPORUM
 - RT2 ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
TUSCAN BLUE ROSEMARY
 - SH SALVIA GREGGII
AUTUMN SAGE
- SHRUB AREAS**
- LG LIROPIE GIGANTEA
GIANT LIROPIE
 - SI SALVIA X 'MAY NIGHT'
BLUE SAGE
- SOD/SEED**
- CD CYNODON DACTYLON
BERMUDA GRASS

OWNER REPRESENTATIVE / DEVELOPER:
HAMILTON PEOP
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 663-9775

LANDSCAPE ARCHITECT:
MARK R. COLEBY, P.L.A.
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

INTERIM REVIEW
THESE DOCUMENTS ARE INTENDED FOR INTERIM REVIEW ONLY. THEY ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. NUMBER 2020

NO.	DATE	REVISION
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NO.	DATE	ISSUE

Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193805

PLANTING PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

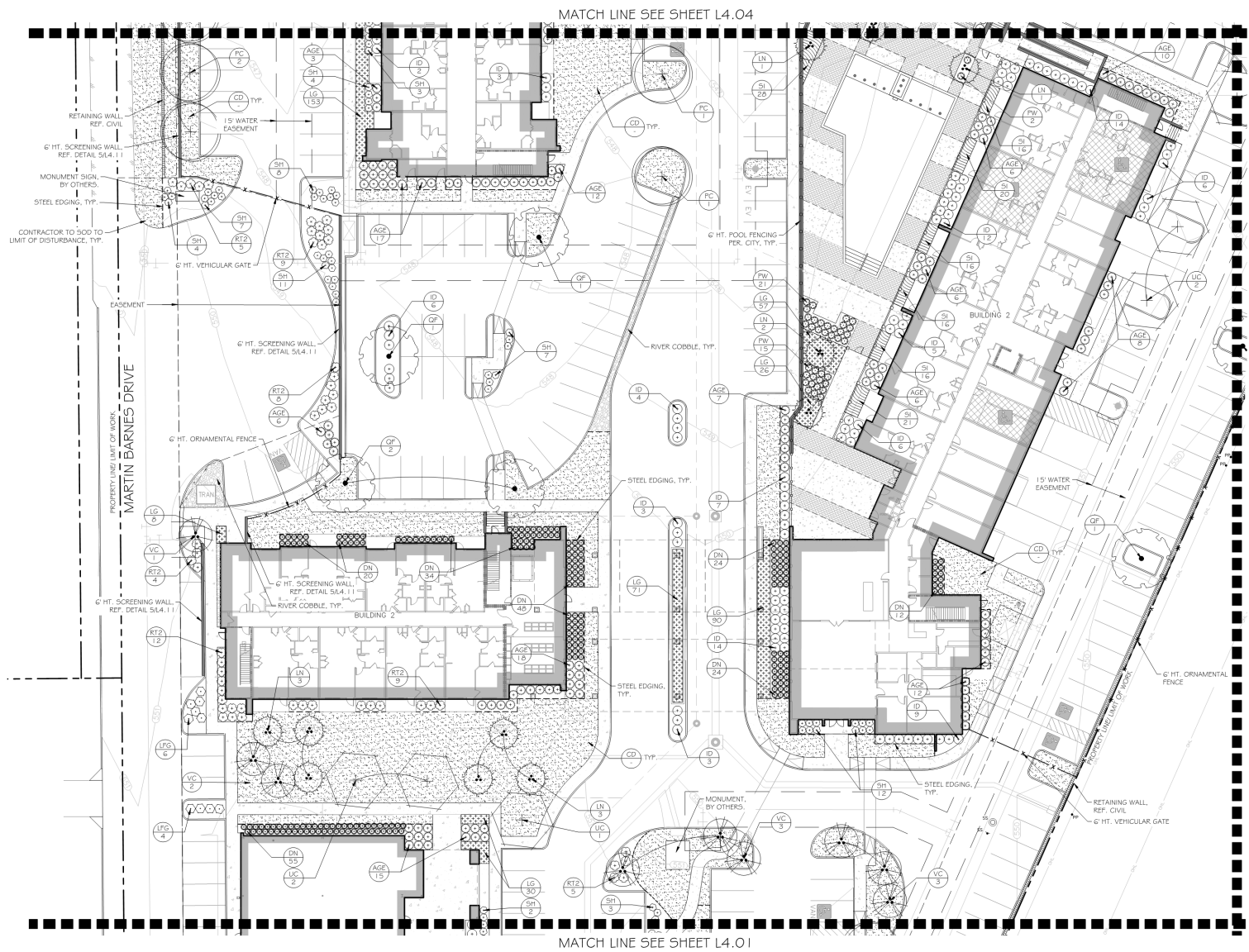
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.01

1 PLANTING PLAN
1" = 20'-0"



CASE # S201203

PK FILE: 3989-20.057



PLANT LEGEND

- TREES**
- CODE BOTANICAL / COMMON NAME
 - PC PISTACIA CHINENSIS CHINESE PISTACHE
 - QF QUERCUS VIRGINIANA LIVE OAK
 - UC ULMUS PARVIFOLIA LACEBARK ELM
- ORNAMENTAL TREES**
- CODE BOTANICAL / COMMON NAME
 - CT CERIS CANADENSIS 'EXENSIS' EASTERN REDBUD
 - LN LAGERSTROEMIA X 'NATCHEZ' GRAPE MYRTLE
 - VC VITEX AGNIUS-CASTUS CHASTE TREE
- SHRUBS**
- CODE BOTANICAL / COMMON NAME
 - AGE ABELIA X GRANDIFLORA 'EDWARD GOUCHER' GLOSSY ABELIA
 - DN DRYOPTERIS NORMALIS WOOD FERN
 - ID ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
 - LFG LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER
 - PW PITIOSPORUM TOBIRA 'WHEELERS DWARF' WHEELER'S DWARF PITIOSPORUM
 - RT2 ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY
 - SH SALVIA GREGGII AUTUMN SAGE
- SHRUB AREAS**
- CODE BOTANICAL / COMMON NAME
 - LG LIROPE GIGANTEA GIANT LIROPE
 - SI SALVIA X 'MAY NIGHT' BLUE SAGE
- SOOISEED**
- CODE BOTANICAL / COMMON NAME
 - CD CYNODON DACTYLON BERMUDA GRASS

OWNER REPRESENTATIVE/DEVELOPER:
 HAMILTON PECK
 HAMILTON COMMERCIAL
 1600 EAST PIONEER PARKWAY, SUITE 550
 ARLINGTON, TEXAS 76010
 PHONE: (972) 663-9775

INTERIM REVIEW
 THESE DOCUMENTS ARE OFFERED FOR REVIEW AND COMMENT ONLY. THEY ARE NOT CONTRACTS.
 ENGINEER/ARCHITECT/ADVISOR: MARK R. COLBY, P.L.A.
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LANDSCAPE ARCHITECT:
 MARK R. COLBY, P.L.A.
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Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 972.235.3031
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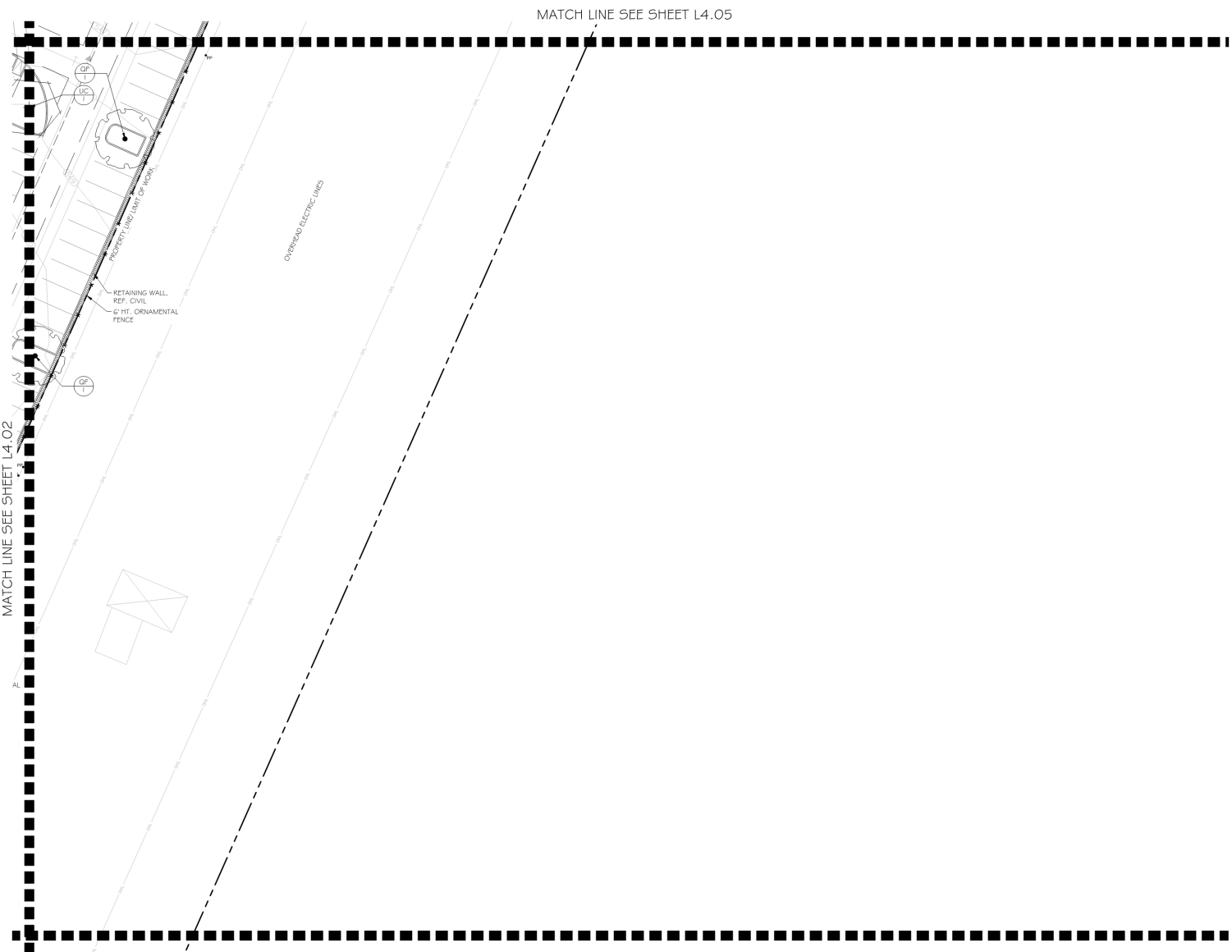
PLANTING PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LSW	DEC 2020	AS SHOWN			L4.02

CASE # S201203

PK FILE: 3989-20.057

CAMP WISDOM VILLAGE, GRAND PRAIRIE, TEXAS



PLANT LEGEND

TREES	CODE	BOTANICAL / COMMON NAME
	PC	PISTACIA CHINENSIS CHINESE PISTACHE
	QF	QUERCUS VIRGINIANA LIVE OAK
	UC	ULMUS PARVIFOLIA LACEDARK ELM
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	CT	CERCIS CANADENSIS 'TEXENSIS' EASTERN REDBUD
	LN	LAGERSTROEMIA X 'NATCHEZ' CRAPE MYRTLE
	VC	VITEA AGNIUS-CASTUS CHASTE TREE
SHRUBS	CODE	BOTANICAL / COMMON NAME
	AGE	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' GLOSSY ABELIA
	DN	DRYOPTERIS NORMALIS WOOD FERN
	ID	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
	LFG	LEUCOPYLLUM FRUTESCENS 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER
	PW	PITTIOSPORUM TOBIRA 'WHEELERS DWARF' WHEELER'S DWARF PITTIOSPORUM
	RT2	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY
	SH	SALVIA GREGGII AUTUMN SAGE
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME
	LG	LIRIOPE GIGANTEA GIANT LIRIOPE
	SI	SALVIA X 'MAY NIGHT' BLUE SAGE
SOD/SEED	CODE	BOTANICAL / COMMON NAME
	CD	CYNODON DACTYLON BERMUDA GRASS

OWNER REPRESENTATIVE/DEVELOPER:
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 663-9775

LANDSCAPE ARCHITECT:
MARK R. COLBY, RLA
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

INTERIM REVIEW
THESE DOCUMENTS ARE OFFERS FOR REVIEW ONLY AND DO NOT CONSTITUTE A CONTRACT.
REGISTERED LANDSCAPE ARCHITECT
MARK R. COLBY
TEXAS REGISTRATION NUMBER 3129

NO.	DATE	REVISION
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL

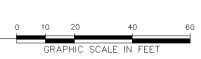
Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193802

PLANTING PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD

CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.03

1 PLANTING PLAN
1" = 20'-0"

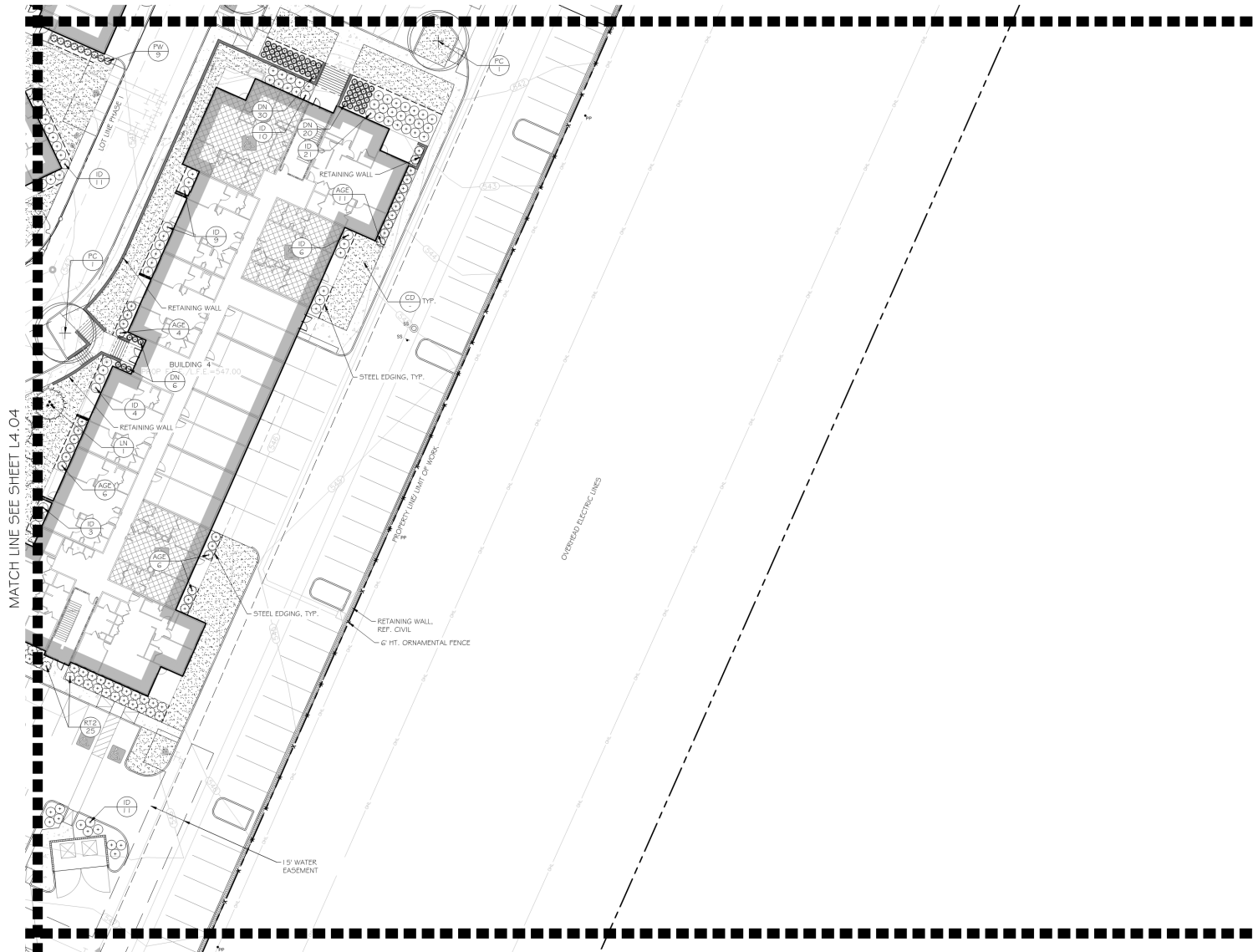


CASE # S201203

PK FILE: 3989-20.057

CAMP WISDOM VILLAGE, GRAND PRAIRIE, TEXAS

MATCH LINE SEE SHEET L4.07



MATCH LINE SEE SHEET L4.04

MATCH LINE SEE SHEET L4.03

PLANT LEGEND

TREES	CODE	BOTANICAL / COMMON NAME
	PC	PISTACIA CHINENSIS CHINESE PISTACHE
	QF	QUERCUS VIRGINIANA LIVE OAK
	UC	ULMUS PARVIFOLIA LACEBARK Elm
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	CT	CERCIS CANADENSIS 'TEXENSIS' EASTERN REDBUD
	LN	LAGERSTROEMIA X 'NATCHEZ' CRAPPE MYRTLE
	VC	VITEX AGNUS-CASTUS CHASTE TREE
SHRUBS	CODE	BOTANICAL / COMMON NAME
	AGE	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' GLOSSY ABELIA
	DN	DRYOPTERIS NORMALIS WOOD FERN
	ID	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
	LFG	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'™ GREEN CLOUD TEXAS RANGER
	PW	PITTOSPORUM TOBIRA 'WHEELERS DWARF' WHEELER'S DWARF PITTOSPORUM
	RT2	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY
	SH	SALVIA GREGGII AUTUMN SAGE
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME
	LG	LIRIODIE GIGANTEA GIANT LIRIOPE
	SH	SALVIA X 'MAY NIGHT' BLUE SAGE
SOCS/SEED	CODE	BOTANICAL / COMMON NAME
	CD	CYNODON DACTYLON BERMUDA GRASS

OWNER REPRESENTATIVE / DEVELOPER:
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 663-9775

LANDSCAPE ARCHITECT:
MARK F. COLEY, P.L.A.
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

INTERIM REVIEW
THESE DOCUMENTS ARE INTENDED FOR
INTERIM REVIEW ONLY. THEY ARE NOT
FOR CONSTRUCTION. APPROVAL, REVISIONS OR
CANCELLATION MUST BE OBTAINED FROM THE
DESIGNER. PROJECT NUMBER: 3028

NO.	DATE	REVISION
	03/03/2021	SITE PLAN SUBMITTAL
	12/19/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL

Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM #14439
TX REG. SURVEYING FIRM LS-10193802

PLANTING PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD

CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.05

CASE # S201203

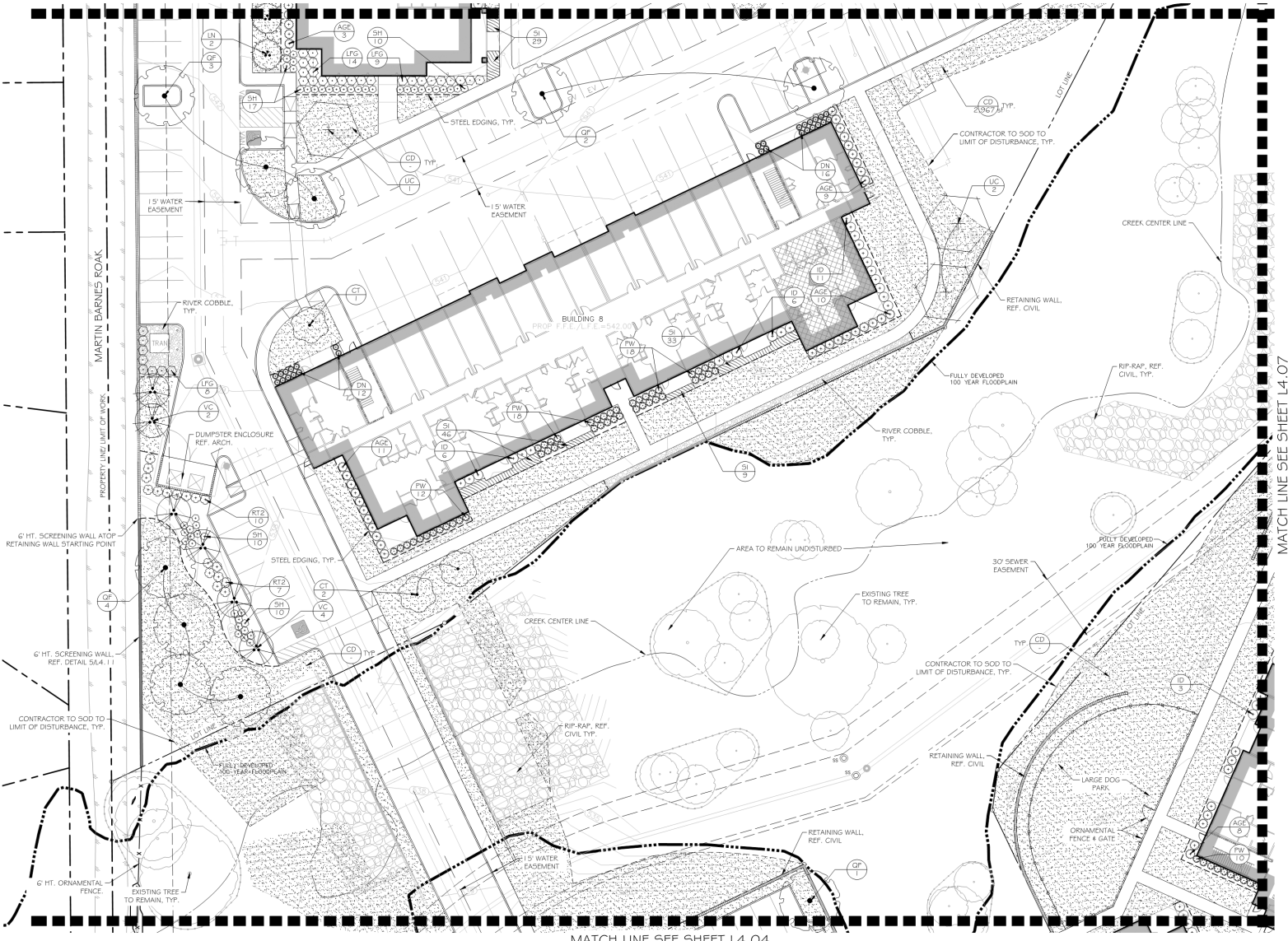


1 PLANTING PLAN
1" = 20'-0"

PK FILE: 3989-20.057

CAMP WISDOM VILLAGE, GRAND PRAIRIE, TEXAS

MATCH LINE SEE SHEET L4.08



MATCH LINE SEE SHEET L4.04

PLANT LEGEND

TREES	CODE	BOTANICAL / COMMON NAME
(+)	PC	PISTACIA CHINENSIS CHINESE PISTACHE
(*)	QF	QUERCUS VIRGINIANA LIVE OAK
(+)	UC	ULMUS PARVIFOLIA LACEBARK ELM
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
(*)	CT	CERCIS CANADENSIS 'TEXENSIS' EASTERN REDBUD
(*)	LN	LAGERSTRÆMIA X 'NATCHEZ' GRAPE HORTLE
(*)	VC	VITEX AGNIUS-CASTUS CHASTE TREE
SHRUBS	CODE	BOTANICAL / COMMON NAME
(*)	AGE	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' GLOSSY ABELIA
(*)	DN	DRYOPTERIS NORMALIS WOOD FERN
(*)	ID	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
(*)	LFG	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'™ GREEN CLOUD TEXAS RANGER
(*)	PW	PITTOSPORUM TOBIANA 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORUM
(*)	RT2	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY
(*)	SH	SALVIA GREGGII AUTUMN SAGE
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME
(Pattern)	LG	LIRIOPE GIGANTEA GIANT LIRIOPE
(Pattern)	SI	SALVIA X 'MAY NIGHT' BLUE SAGE
SOD/SEED	CODE	BOTANICAL / COMMON NAME
(Pattern)	CD	CYNODON DACTYLON BERMUDA GRASS

OWNER REPRESENTATIVE/DEVELOPER:
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 663-9775

LANDSCAPE ARCHITECT:
MARK R. COLBY, P.L.A.
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

INTERIM REVIEW
THESE DOCUMENTS ARE PROVIDED FOR REVIEW ONLY. NO CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES OR CORRECTIONS.
REGISTERED LANDSCAPE ARCHITECT
TEXAS REGISTRATION NUMBER 3128

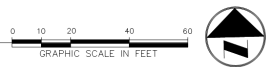
NO.	DATE	ISSUE
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL
NO.	DATE	REVISION

Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM #144839
TX REG. SURVEYING FIRM LS-10192005

PLANTING PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.06

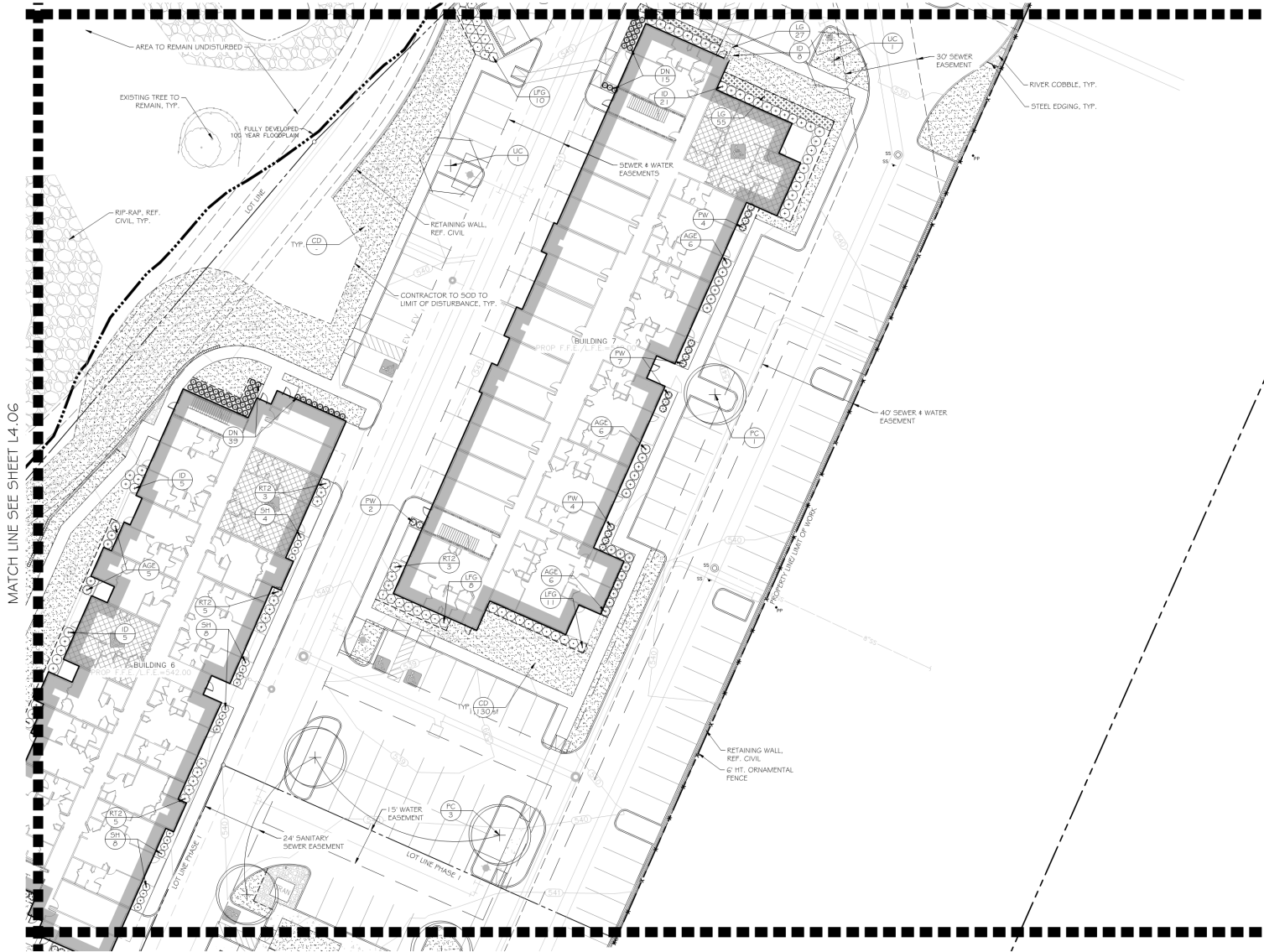
1 PLANTING PLAN
1" = 20'-0"



CASE # S201203

PK FILE: 3989-20.057

MATCH LINE SEE SHEET L4.09



PLANT LEGEND

- TREES**
- PC BOTANICAL / COMMON NAME
FISTACIA CHINENSIS
CHINESE PISTACHE
 - QF QUERCUS VIRGINIANA
LIVE OAK
 - UC ULMUS PARVIFOLIA
LACEBARK ELM
- ORNAMENTAL TREES**
- CT CERIS CANADENSIS 'TENDRIS'
EASTERN REDBUD
 - LN LAGERSTROEMIA X 'NATCHEZ'
GRAPE HYDRATEE
 - VC VITEX AGNIUS-CASTUS
CHAOTE TREE
- SHRUBS**
- AGE BOTANICAL / COMMON NAME
ABELIA X GRANDIFLORA 'EDWARD GOUCHER'
GLOSSY ABELIA
 - DN DRYOPTERIS-NORMALIS
WOOD FERN
 - ID ILEX CORNUTA 'DWARF BURFORD'
DWARF BURFORD HOLLY
 - LFG LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM
GREEN CLOUD TEXAS RANGER
 - PW PITISPORIUM TOBIIRA 'WHEELERS DWARF'
WHEELER'S DWARF PITISPORIUM
 - KT2 ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
TUSCAN BLUE ROSEMARY
 - SH1 SALVIA GREGGII
AUTUMN SAGE
- SHRUB AREAS**
- LG BOTANICAL / COMMON NAME
LIRIOPE GIGANTEA
GIANT LIRIOPE
 - SI SALVIA X 'MAY NIGHT'
BLUE SAGE
- SOD/SEED**
- CD BOTANICAL / COMMON NAME
CYNODON DACTYLON
BERMUDA GRASS

OWNER REPRESENTATIVE/DEVELOPER:
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 663-9775

INTERIM REVIEW

DATE REVIEWED AND APPROVED FOR
SUBMITTAL: 11/15/2020
REGISTERED LANDSCAPE ARCHITECT
MARK R. COLBY
TEXAS REGISTRATION NUMBER 0109

LANDSCAPE ARCHITECT:
MARK R. COLBY, PLA
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

NO.	DATE	REVISION
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL

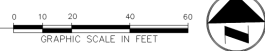
PLANTING PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.07

MATCH LINE SEE SHEET L4.06

MATCH LINE SEE SHEET L4.05

1 PLANTING PLAN
1" = 20'-0"



CASE # S201203

PK FILE: 3989-20.057

PLANT LEGEND

- TREES**
- PC PISTACIA CHINENSIS CHINESE PISTACHE
 - QF QUERCUS VIRGINIANA LIVE OAK
 - UC ULMUS PARVIFOLIA LACINIAE ELM
- ORNAMENTAL TREES**
- CT CERIS CANADENSIS 'TENKISS' EASTERN REDBUD
 - LN LAGERSTROEMIA X 'NATCHEZ' CRAPE MYRTLE
 - VC VITEX AGNUS-CASTUS CHASTE TREE
- SHRUBS**
- AGE ADONIS X GRANDIFLORA 'EDWARD GOUCHER' GLOSSY ADONIS
 - DN DRYOPTERIS NORMALIS WOOD FERN
 - ID ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
 - LFG LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGES
 - PW PITTOSPORUM TOBIRA 'WHEELERS DWARF' WHEELER'S DWARF PITTOSPORUM
 - RT2 ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY
 - SH SALVIA GREGGII AUTUMN SAGE
- SHRUB AREAS**
- LG LIRIOPE GIGANTEA GIANT LIRIOPE
 - SI SALVIA X 'MAY NIGHT' BLUE SAGE
- SOD/SEED**
- CD CYNODON DACTYLON BERMAUDA GRASS

OWNER REPRESENTATIVE/DEVELOPER:
 HAMILTON PECK
 HAMILTON COMMERCIAL
 1600 EAST PIONEER PARKWAY, SUITE 550
 ARLINGTON, TEXAS 76010
 PHONE: (972) 663-9775

LANDSCAPE ARCHITECT:
 MARK R. COLBY, RLA
 PACHECO KOCH CONSULTING ENGINEERS
 7557 RAMBLER ROAD, SUITE 1400
 DALLAS, TEXAS 75231
 PHONE: (972) 235-3031

INTERIM REVIEW
 THESE DOCUMENTS ARE INTENDED FOR REVIEW ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION
 REGISTERED LANDSCAPE ARCHITECT
 TEXAS REGISTRATION NUMBER 3100

NO.	DATE	ISSUE
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL

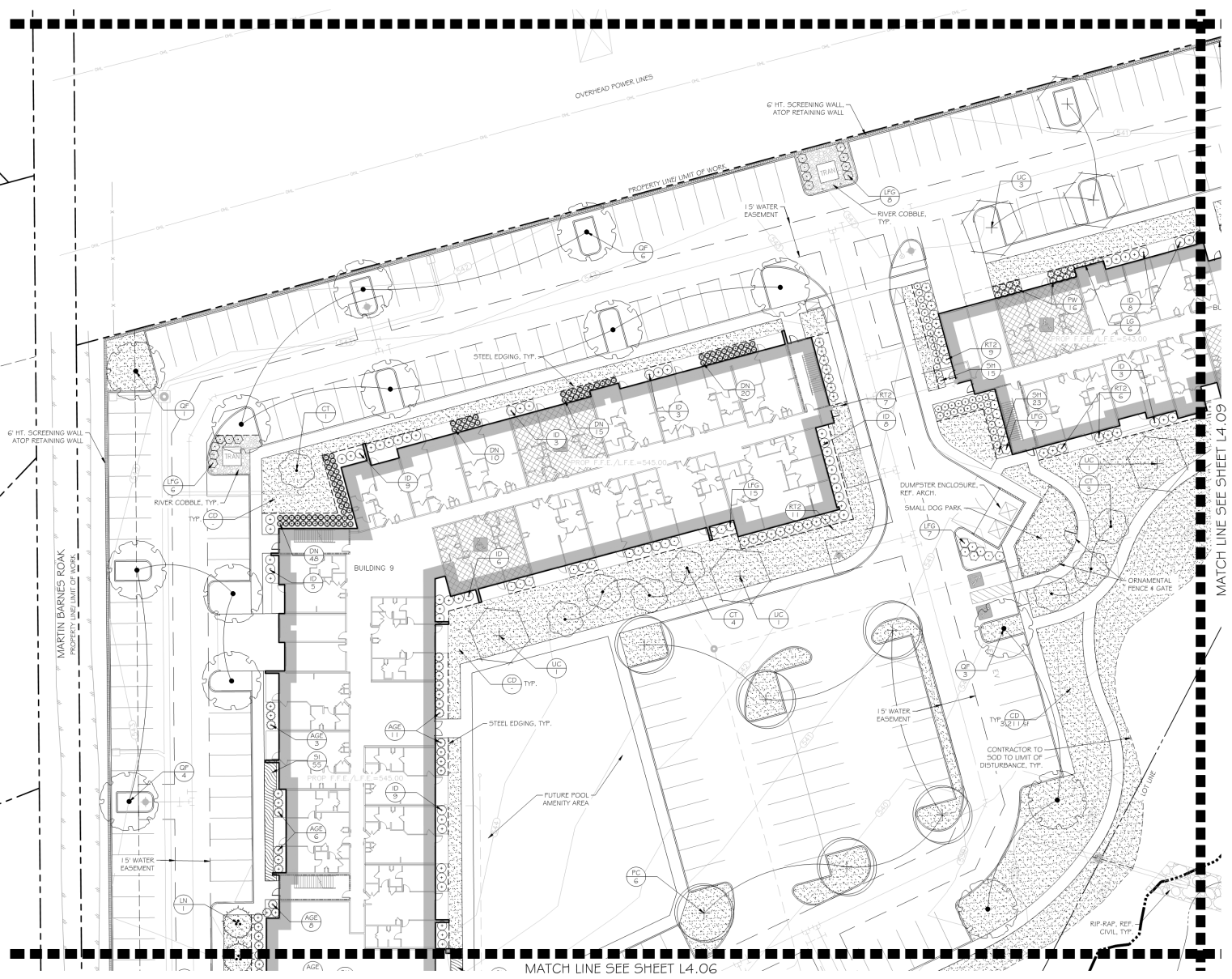
NO.	DATE	REVISION
		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 972-235-3031 TX REG. ENGINEERING FIRM #144250 TX REG. SURVEYING FIRM LS-101935005

PLANTING PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD

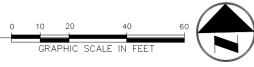
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.08

CASE # S201203

PK FILE: 3989-20.057

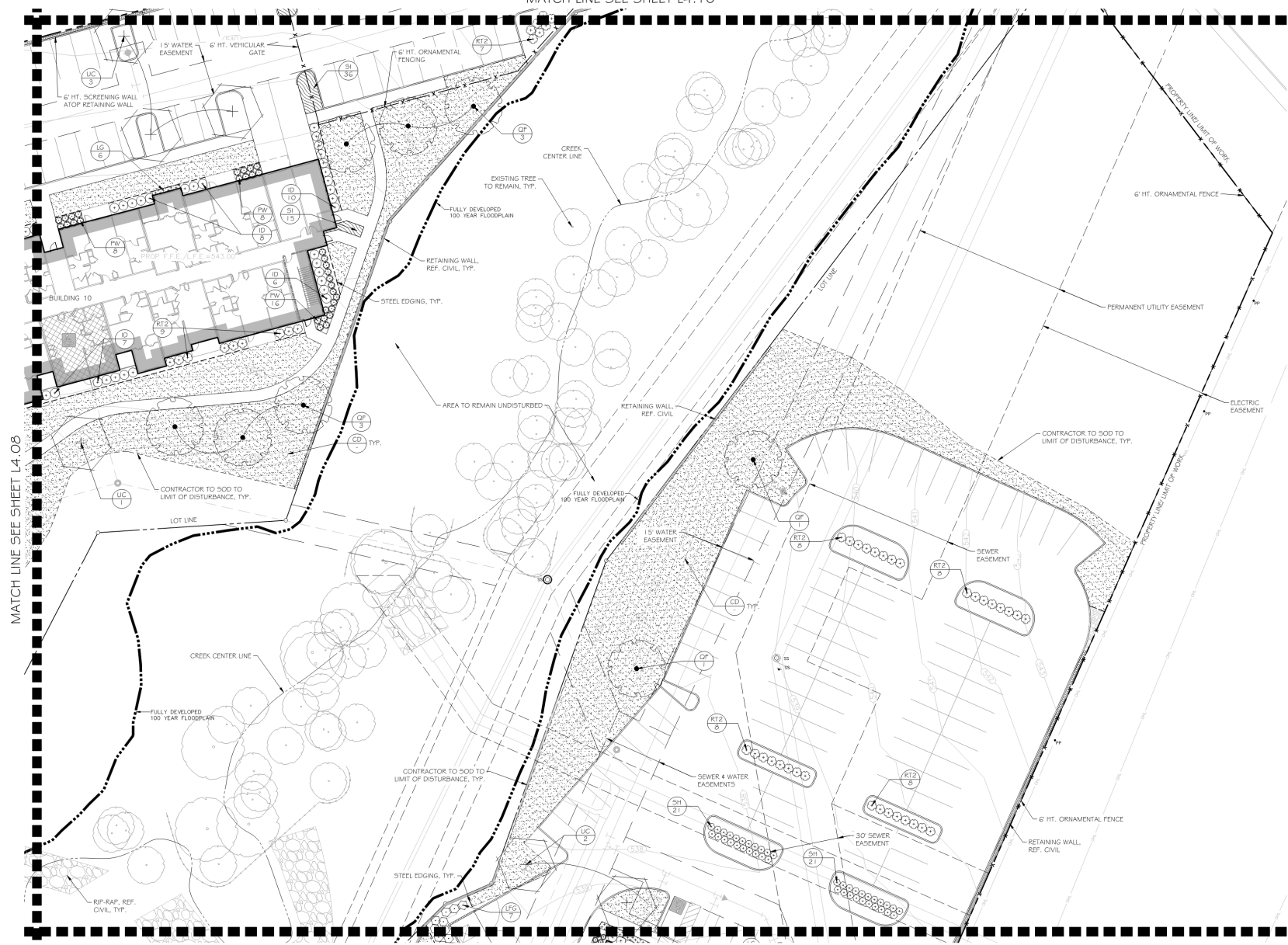


1 PLANTING PLAN
 1" = 20'-0"



CAMP WISDOM VILLAGE, GRAND PRAIRIE, TEXAS

MATCH LINE SEE SHEET L4.10



PLANT LEGEND

TREES	CODE	BOTANICAL / COMMON NAME
(Circle with cross)	FC	PISTACIA CHINENSIS CHINESE PISTACHE
(Circle with dot)	QF	QUERCUS VIRGINIANA LIVE OAK
(Circle with cross)	UC	ULMUS PARVIFOLIA LACEBARK ELM
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
(Circle with dot)	CT	CERCIS CANADENSIS 'TEXENSIS' EASTERN REDBUD
(Circle with cross)	LN	LAGERSTROEMIA X 'NATCHEZ' CRATE MYRTLE
(Circle with cross)	VC	VITEX AGAUS-CASTUS CHAISTE TREE
SHRUBS	CODE	BOTANICAL / COMMON NAME
(Circle with cross)	AGE	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' GLOSSY ABELIA
(Circle with cross)	DN	DRYOPTERIS NORMALIS WOOD FERN
(Circle with cross)	DI	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
(Circle with cross)	LPG	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER
(Circle with cross)	PW	PITISPOFORUM TOBIRA 'WHEELERS DWARF' TUSCAN BLUE ROSEMARY
(Circle with cross)	RT2	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY
(Circle with cross)	SH	SALVIA GREGGII AUTUMN SAGE
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME
(Cross-hatch pattern)	LG	LIROPE GIGANTEA GIANT LIROPE
(Diagonal lines pattern)	SI	SALVIA X 'MAY NIGHT' BLUE SAGE
SODSEED	CODE	BOTANICAL / COMMON NAME
(Stippled pattern)	CD	CYNODON DACTYLON BERMUDA GRASS

MATCH LINE SEE SHEET L4.08

MATCH LINE SEE SHEET L4.07

OWNER, REPRESENTATIVE / DEVELOPER:
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 663-9775

LANDSCAPE ARCHITECT:
MARK R. COLBY, PLA
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

INTERIM REVIEW
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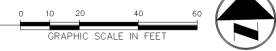
NO.	DATE	REVISION
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL

Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193825

PLANTING PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.09

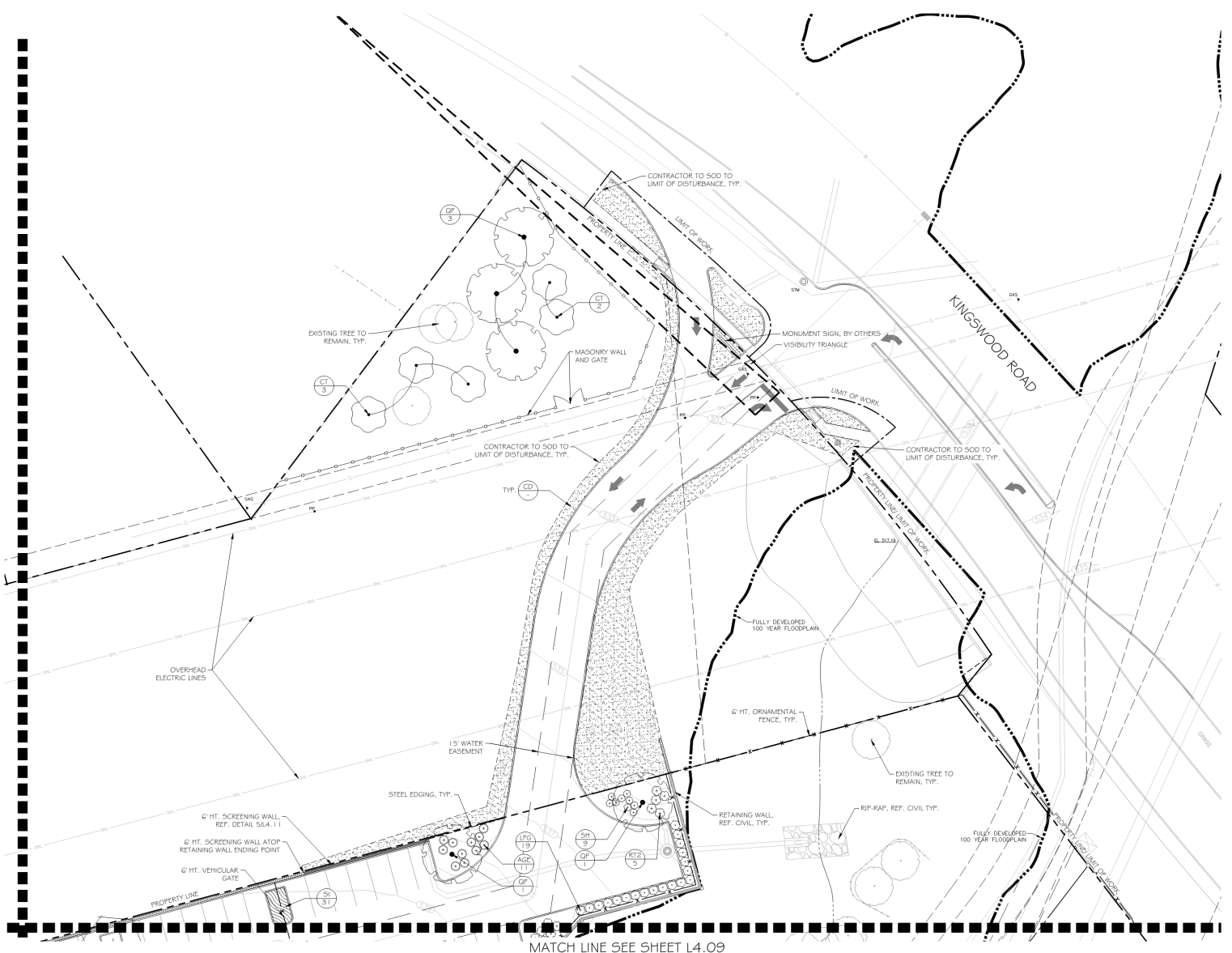
1 PLANTING PLAN
1" = 20'-0"



CASE # S201203

PK FILE: 3989-20.057

CAMP WISDOM VILLAGE GRAND PRAIRIE, TEXAS



PLANT LEGEND

TREES	CODE	BOTANICAL / COMMON NAME
	PC	PISTACIA CHINENSIS CHINESE PISTACHE
	QF	QUERCUS VIRGINIANA LIVE OAK
	UC	ULMUS PARVIFOLIA LACEBARK ELM
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	CT	CERCIS CANADENSIS 'TEXENSIS' EASTERN REDBUD
	LN	LAGERSTROEMIA X 'NATCHEZ' GRAPE MYRTLE
	VC	VITEX AGNIUS-CASTUS CHASTE TREE
SHRUBS	CODE	BOTANICAL / COMMON NAME
	AGE	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' GLOSSY ABELIA
	DN	DRYOPTERIS NORMALIS WOOD FERN
	ID	ILEX CORNUTA 'DWARF BURFORD' DWARF BURFORD HOLLY
	LFG	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER
	PW	PITOSPORUM TOBIRA 'WHEELERS DWARF' WHEELER'S DWARF PITOSPORUM
	RT2	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY
	SH	SALVIA GREGGII AUTUMN SAGE
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME
	LG	LIRIOPE GIGANTEA GIANT LIRIOPE
	SI	SALVIA X 'MAY NIGHT' BLUE SAGE
SOD/SEED	CODE	BOTANICAL / COMMON NAME
	CD	CYNODON DACTYLON BERMUDA GRASS

OWNER REPRESENTATIVE / DEVELOPER:
 HAMILTON PEOR
 HAMILTON COMMERCIAL
 1600 EAST PIONEER PARKWAY, SUITE 550
 ARLINGTON, TEXAS 76010
 PHONE: (972) 663-9775

LANDSCAPE ARCHITECT:
 MARK R. COLBY, RLA
 PACHECO KOCH CONSULTING ENGINEERS
 7557 FAMBLER ROAD, SUITE 1400
 DALLAS, TEXAS 75231
 PHONE: (972) 235-3031

INTERIM REVIEW
 THESE DOCUMENTS ARE INTENDED FOR REVIEW PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. APPROVAL/REVISIONS OF ANY KIND MUST BE OBTAINED FROM THE ARCHITECT.
 MAX W. COLBY, ARCHITECT
 7557 FAMBLER ROAD, SUITE 1400
 DALLAS, TEXAS 75231
 PHONE: (972) 235-3031

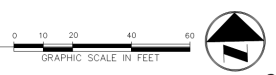
NO.	DATE	REVISION
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/03/2020	SITE PLAN SUBMITTAL

Pacheco Koch
 7557 FAMBLER ROAD, SUITE 1400
 DALLAS, TX 75231 972.235.3031
 TX REG. ENGINEERING FIRM F-14439
 TX REG. SURVEYING FIRM LS-10192805

PLANTING PLAN
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
 CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.10

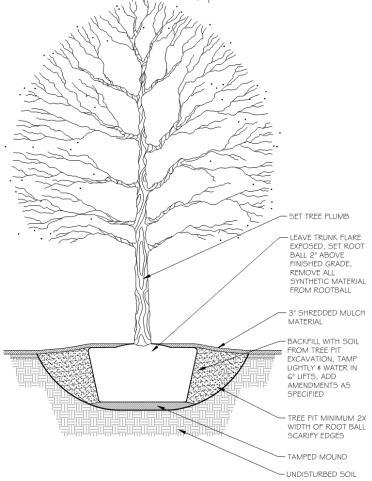
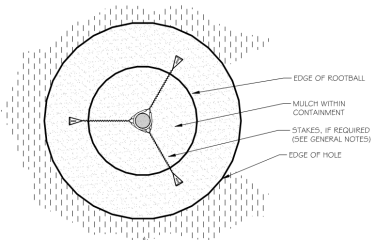
1 PLANTING PLAN
 1" = 20'-0"



CASE # S201203

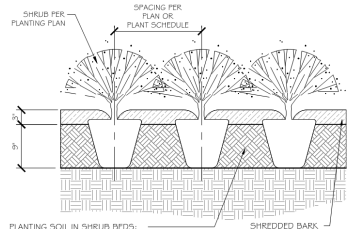
PK FILE: 3989-20.057

CAMP WISDOM VILLAGE, GRAND PRAIRIE, TEXAS



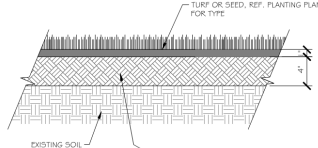
NOTE: UNLESS OTHERWISE SPECIFIED, OR REQUIRED BY OWNER TREES 3" CAL. AND UNDER SHALL NOT BE STAKED.

1 CANOPY TREE W/ NO STAKES
1/4" = 1'-0"



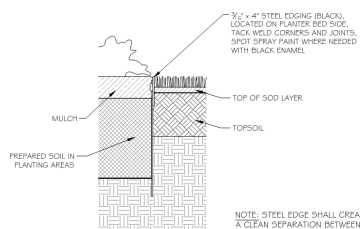
- PLANTING SOIL IN SHRUB BEDS:
1. EXCAVATE EXISTING SOILS 4" BELOW ADJACENT CURB OR SIDEWALK
 2. ADD 3" COMPOST & TILL INTO 6" EXISTING SOILS, CREATING 9" PLANTING SOIL
 3. ADD 3" MULCH AFTER PLANTING

2 TYP. SHRUB PLANTING
1" = 1'-0"



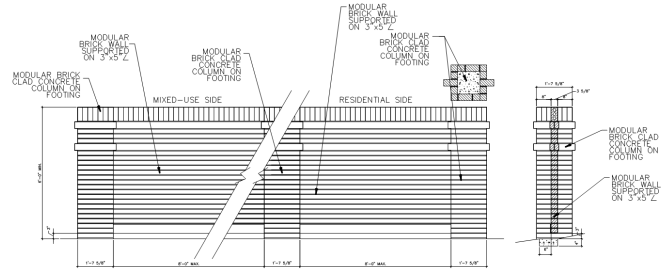
- SOIL PREP:
1. FINISH GRADE TOPSOIL BY REMOVING STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER TO LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 2. ADD 1" COMPOST ON THE SURFACE, THEN TILL TO 4" DEPTH
 3. INSTALL SOD AS SHOWN, REF. PLANTING PLANS FOR TYPE

3 SOIL PROFILE FOR SOD
1 1/2" = 1'-0"



NOTE: STEEL EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN AREAS & SHALL CREATE SMOOTH, EVEN LINES (AS INDICATED ON THE PLANS)

4 STEEL EDGING AT PLANTING
1 1/2" = 1'-0"



5 TYPE I SCREEN WALL
NOT TO SCALE

OWNER REPRESENTATIVE/DEVELOPER:
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PHONE: (972) 663-9775

INTERIM REVIEW
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REGISTERED LANDSCAPE ARCHITECT
MARK R. COLEY
TX REG. SURVEYING FIRM LS-10193805

LANDSCAPE ARCHITECT:
MARK R. COLEY, RLA
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031

NO.	DATE	ISSUE
	03/03/2021	SITE PLAN SUBMITTAL
	12/18/2020	SITE PLAN SUBMITTAL
	11/05/2020	SITE PLAN SUBMITTAL

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM E-114439
TX REG. SURVEYING FIRM LS-10193805

Pacheco Koch
PLANTING DETAILS
CAMP WISDOM VILLAGE
W. CAMP WISDOM ROAD
& MARTIN BARNES ROAD
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
MRC	LBW	DEC 2020	AS SHOWN			L4.11

CASE # S201203

PK FILE: 3989-20.057

CAMP WISDOM VILLAGE, GRAND PRAIRIE, TEXAS

EXTERIOR MASONRY CONTENT - RETAIL SIDE FRONT	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	67%
STONE MASONRY	33%

EXTERIOR MASONRY CONTENT - RETAIL SIDE BACK	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	98%
STONE MASONRY	2%

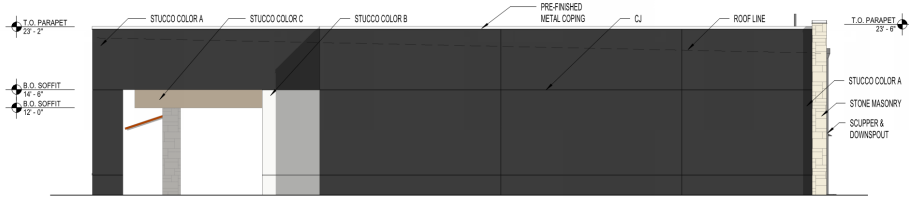
EXTERIOR MASONRY CONTENT - RETAIL FRONT ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	66%
STONE MASONRY	34%

EXTERIOR MASONRY CONTENT - RETAIL BACK ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	27%
STONE MASONRY	73%

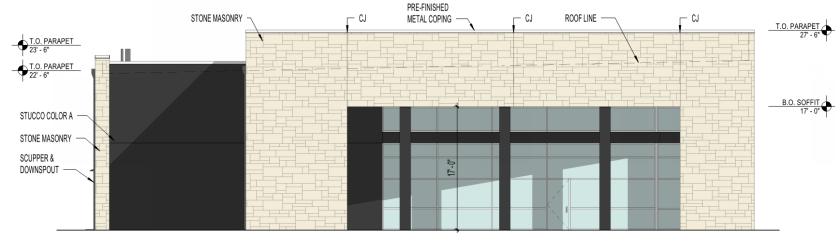
- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR

EXTERIOR FINISH LEGEND

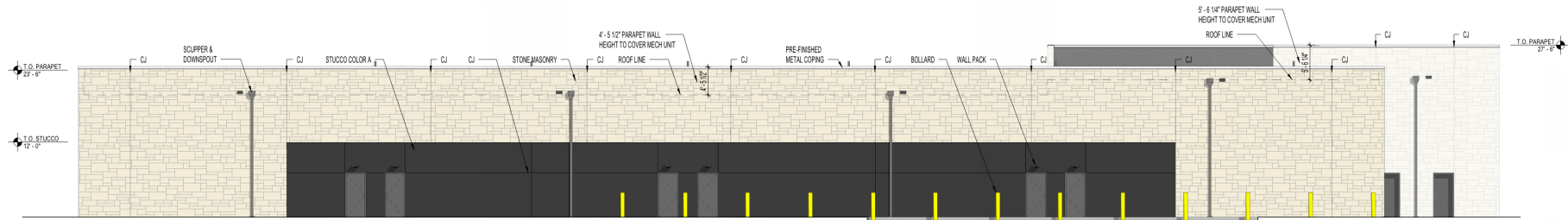
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	



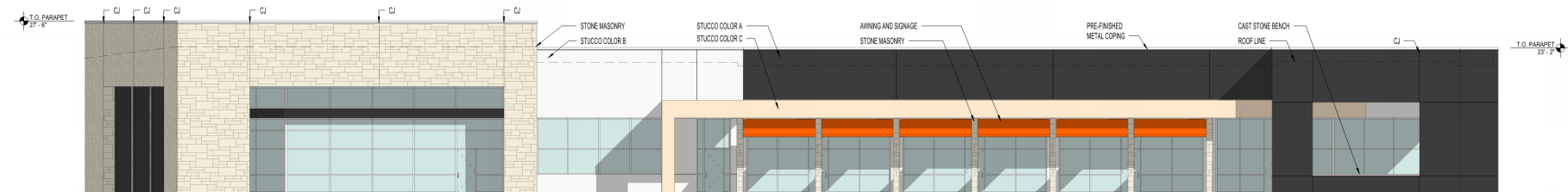
3 RETAIL (BLDG #1) SIDE BACK ELEVATION
1/8" = 1'-0"



4 RETAIL (BLDG #1) SIDE FRONT ELEVATION
1/8" = 1'-0"



2 RETAIL (BLDG #1) REAR ELEVATION
1/8" = 1'-0"



1 RETAIL (BLDG #1) FRONT ELEVATION
1/8" = 1'-0"

Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

OWNER
Camp Wisdom Apt Ph 1, LLC
P.O. BOX 530251
Grand Prairie, TX 75053

Hamilton Pack
(972) 873-8853

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Take Braun
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STRUCTURAL ENGINEER
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Dallas, TX 75220

Chad Kronger
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MEP ENGINEER
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Revisions:

REV.	DATE	TITLE

Date:
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12/18/2020

Project No.
2637

Drawn By:
HL

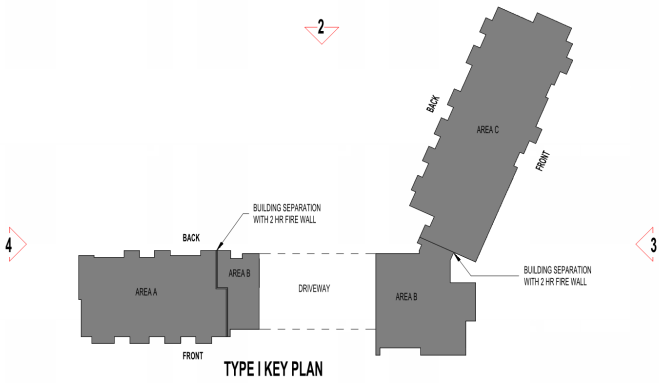
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WIS

Sheet Title:
RETAIL - EXTERIOR
BUILDING ELEVATIONS

Drawing No.

CASE NUMBER S201203

A3.03



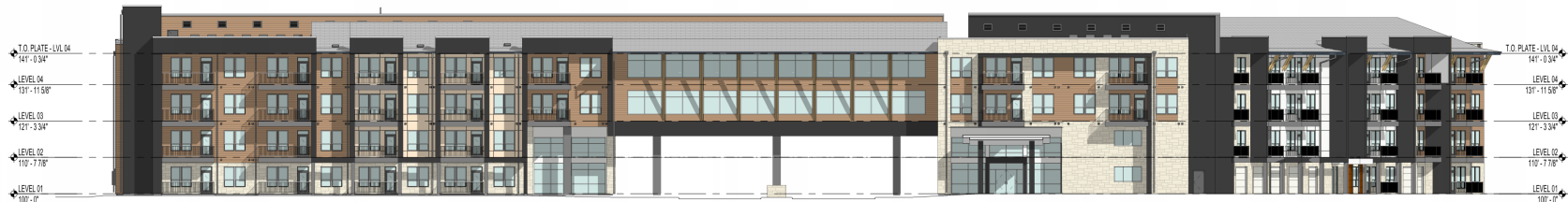
4 TYPE I (BLDG #2) WEST OVERALL ELEVATION
1/16" = 1'-0"



3 TYPE I (BLDG #2) EAST OVERALL ELEVATION
1/16" = 1'-0"



2 TYPE I (BLDG #2) BACK OVERALL ELEVATION
1/16" = 1'-0"



1 TYPE I (BLDG #2) FRONT OVERALL ELEVATION
1/16" = 1'-0"

Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

OWNER
Camp Wisdom Apt Ph 1, LLC
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2637

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WGC

Checked By:
WS

Sheet Title:
TYPE I - EXTERIOR BUILDING
ELEVATIONS

Drawing No.

CASE NUMBER S201203

A3.16

Item 11.



**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

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Project No:
2637

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WS

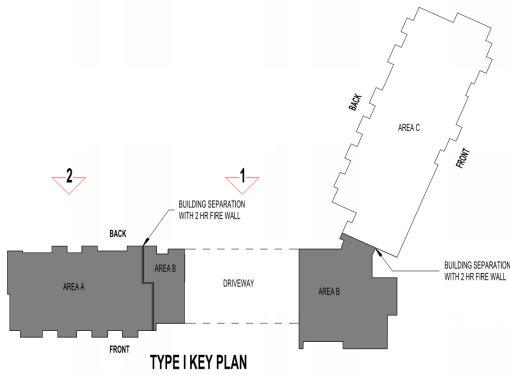
Sheet Title:
TYPE I - ENLARGED
EXTERIOR ELEVATIONS

Drawing No.

CASE NUMBER S201203

A3.17

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EXTERIOR MASONRY CONTENT - BLDG 1 BACK ELEV	
3 COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	48%
FIBER CEMENT SIDING	31%
STONE MASONRY	21%

EXTERIOR FINISH LEGEND			
3 COAT PORTLAND CEMENT PLASTERWORK (STUCCO)		STUCCO COLOR A	
STONE MASONRY		STUCCO COLOR B	
TEXTURE COATED CONCRETE		STUCCO COLOR C	
FIBER CEMENT SIDING		STUCCO COLOR D	

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR.



Item 11.

**CAMP WISDOM VILLAGE
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2650 W. Camp Wisdom Road
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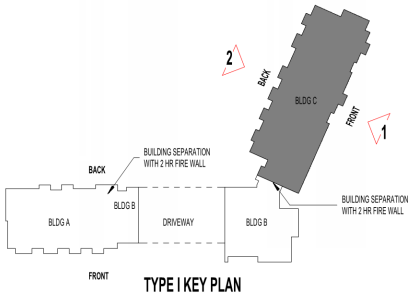
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REVIEW SET: 12/18/2020
Project No: 2637
Drawn By: WCC
Checked By: WVS

Sheet Title:
TYPE I - ENLARGED EXTERIOR ELEVATIONS

Drawing No:
A3.18

CASE NUMBER S201203

Exhibit D - Building Elevations
Page 5 of 21



EXTERIOR MASONRY CONTENT - BLDG 1 FRONT (AREA C)	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	36%
FIBER CEMENT SIDING	18%
STONE MASONRY	46%

EXTERIOR MASONRY CONTENT - BLDG 1 BACK (AREA C)	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	44%
FIBER CEMENT SIDING	22%
STONE MASONRY	34%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND			
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A		
STONE MASONRY	STUCCO COLOR B		
TEXTURE COATED CONCRETE	STUCCO COLOR C		
FIBER CEMENT SIDING	STUCCO COLOR D		

TYPE I KEY PLAN



2 TYPE I (BLDG #2) BACK (AREA C)
1/8" = 1'-0"



1 TYPE I (BLDG #2) FRONT (AREA C)
1/8" = 1'-0"

CASE NUMBER S201203

Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

OWNER
Camp Wisdom Apt Ph 1, LLC.
P.O. BOX 839561
Grand Prairie, TX 75053

HAMILTON PACK
972-877-8983

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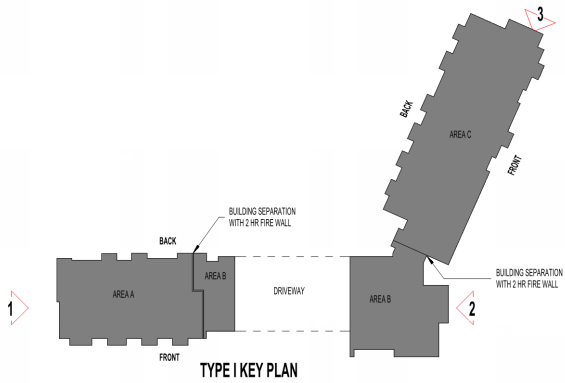
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Drawing No.

A3.19



EXTERIOR MASONRY CONTENT - BLDG 2 SIDE (AREA C)

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	11%
FIBER CEMENT SIDING	40%
STONE MASONRY	49%

EXTERIOR MASONRY CONTENT - BLDG 2 SIDE (AREA B)

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	40%
FIBER CEMENT SIDING	33%
STONE MASONRY	27%

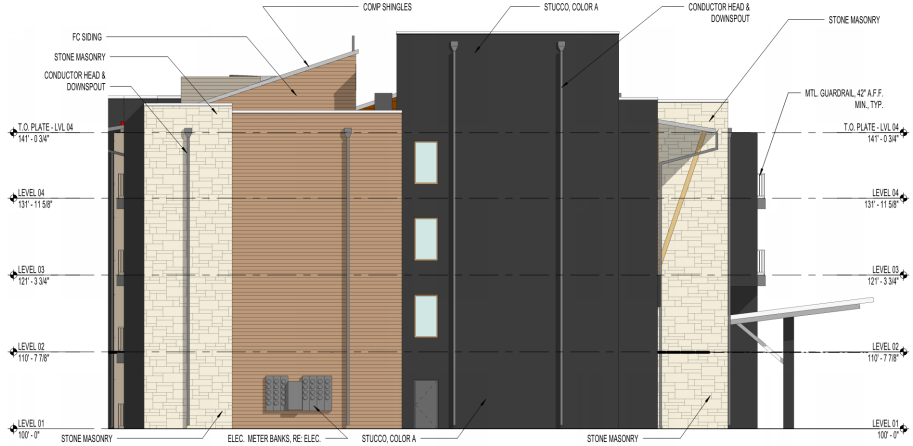
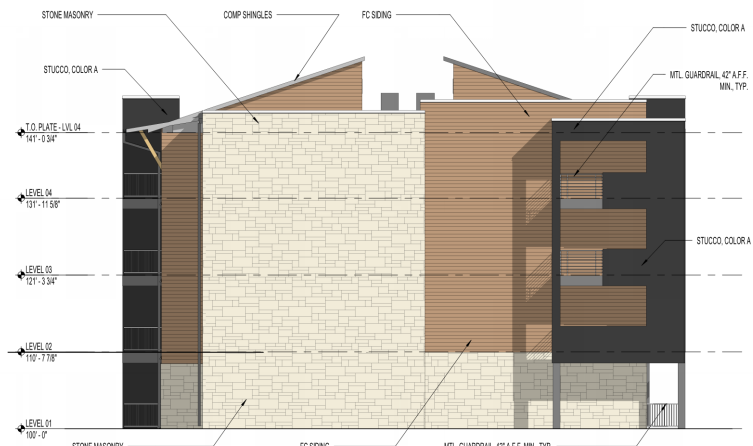
EXTERIOR MASONRY CONTENT - BLDG 2 SIDE (AREA A)

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	50%
FIBER CEMENT SIDING	17%
STONE MASONRY	33%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

- OWNER**
Camp Wisdom Apt Ph 1, LLC
P.O. BOX 539251
Grand Prairie, TX 75053
- Hamilton Peak**
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- CIVIL ENGINEER**
Pacheco Koch, Inc.
7557 Rambler Road, Suite 1400
Dallas, TX 75231
- Tate Braun**
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- STRUCTURAL ENGINEER**
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10003 Technology Blvd West
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- Chad Kopper**
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- MEP ENGINEER**
Lawenda & Company, LLC.
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WGC
Checked By:
WVS
Sheet Title:
TYPE I - ENLARGED
EXTERIOR ELEVATIONS
Drawing No.

A3.19a

CASE NUMBER S201203

Item 11.

TYPE II KEY PLAN

EXTERIOR MASONRY CONTENT - BLDG 2 SIDE B

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	50%
FIBER CEMENT SIDING	38%
STONE MASONRY	14%

EXTERIOR MASONRY CONTENT - BLDG 2 SIDE A

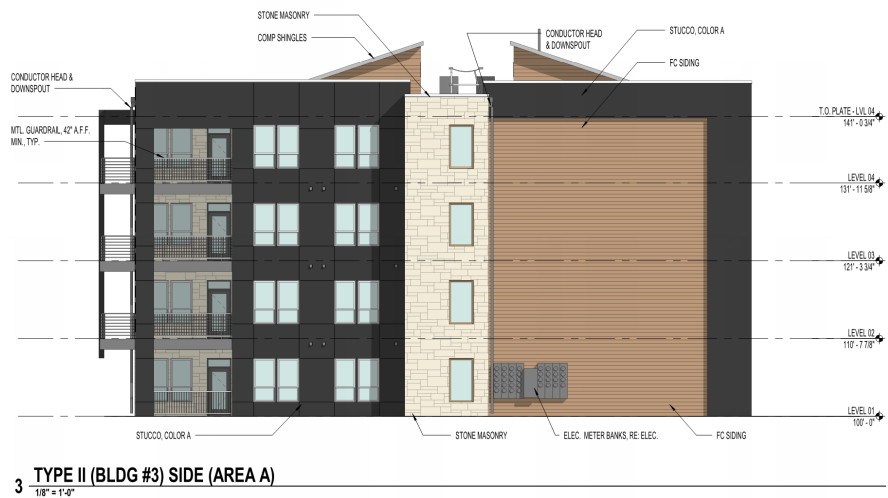
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	50%
FIBER CEMENT SIDING	38%
STONE MASONRY	12%

EXTERIOR FINISH NOTES

- ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
- MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
- UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
- GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
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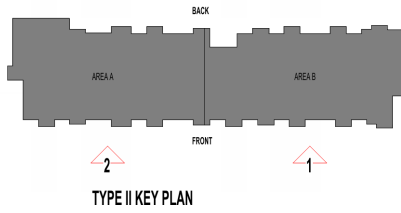
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Sheet Title: TYPE II - ENLARGED EXTERIOR ELEVATIONS
Drawing No.

CASE NUMBER S201203

12/17/2020 3:29:20 PM



EXTERIOR MASONRY CONTENT - BLDG 2 FRONT ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	44%
FIBER CEMENT SIDING	28%
STONE MASONRY	28%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND		
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



1 TYPE II (BLDG #3) FRONT (AREA A)
1/8" = 1'-0"



2 TYPE II (BLDG #3) FRONT (AREA B)
1/8" = 1'-0"

CASE NUMBER S201203

Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

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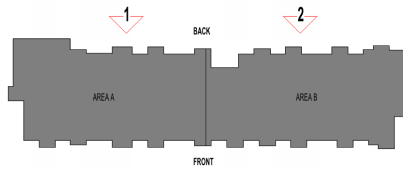
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Sheet Title: TYPE II - ENLARGED EXTERIOR ELEVATIONS
Drawing No.:

A3.27



TYPE II KEY PLAN

EXTERIOR MASONRY CONTENT - BLDG 2 BACK ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	47%
FIBER CEMENT SIDING	22%
STONE MASONRY	31%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
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EXTERIOR FINISH LEGEND		
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



2 TYPE II (BLDG #3) BACK (AREA B)
1/8" = 1'-0"



1 TYPE II (BLDG #3) BACK (AREA A)
1/8" = 1'-0"

CASE NUMBER S201203

Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

OWNER
Camp Wisdom Apt Ph 1, LLC
P.O. BOX 530551
Grand Prairie, TX 75053

Hamilton Peck
(972) 877-8953

CIVIL ENGINEER
Pacheco Koch, Inc.
7257 Rembrandt Road, Suite 1400
Dallas, TX 75231

Tate Braun
(972) 238-3031

STRUCTURAL ENGINEER
Stead Systems Engineering, Inc.
10003 Technology Blvd West
Dallas, TX 75220

Chad Krogger
(972) 600-3004

MEP ENGINEER
Lewards & Company, LLC
6136 Frisco Square Blvd, Suite 400
Frisco, TX 75034

Joe Nyquist
(469) 287-5488

g s r | andrade
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F 214.887.0559

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12/18/2020

Project No.
2637

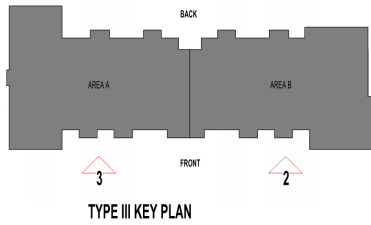
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WGC

Checked By:
WS

Sheet Title:
TYPE II - ENLARGED
EXTERIOR ELEVATIONS

Drawing No.

A3.28

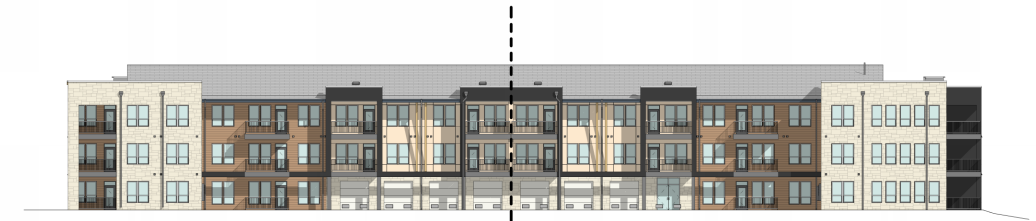


EXTERIOR MASONRY CONTENT - BLDG 3 FRONT ELEV	
3 COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	24%
FIBER CEMENT SIDING	32%
STONE MASONRY	44%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND

3 COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

OWNER
Camp Wisdom Apt Ph 1, LLC.
P. O. BOX 53505
Grand Prairie, TX 75053

HAMILTON PECK
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CONTRACTOR
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7557 Rambler Road, Suite 1400
Dallas, TX 75231

DATE
Table Brain
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CHAIR
Chad Konger
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Project No: 2637

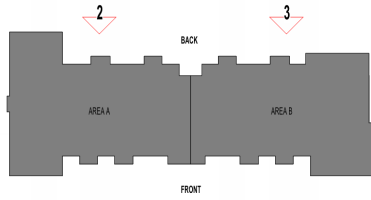
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Checked By: WS

Sheet Title: TYPE III - ENLARGED EXTERIOR ELEVATIONS

Drawing No. **A3.35**

CASE NUMBER S201203



TYPE III KEY PLAN

EXTERIOR MASONRY CONTENT - BLDG 3 BACK ELEV

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	48%
FIBER CEMENT SIDING	27%
STONE MASONRY	25%

EXTERIOR FINISH NOTES

1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



Item 11.
**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

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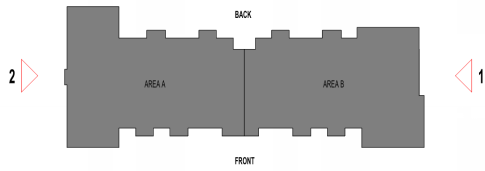
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12/18/2020
Project No.
2637
Drawn By:
Author
Checked By:
WIS
Sheet Title:
TYPE III - ENLARGED
EXTERIOR ELEVATIONS
Drawing No.

A3.36

CASE NUMBER S201203

Item 11.



TYPE III KEY PLAN

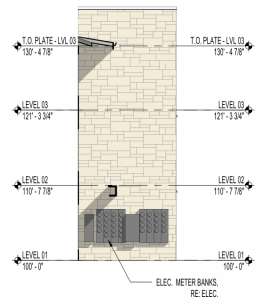
EXTERIOR MASONRY CONTENT - BLDG 3 SIDE A ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	15%
FIBER CEMENT SIDING	37%
STONE MASONRY	48%

EXTERIOR MASONRY CONTENT - BLDG 3 SIDE B ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	43%
FIBER CEMENT SIDING	19%
STONE MASONRY	38%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR.

EXTERIOR FINISH LEGEND

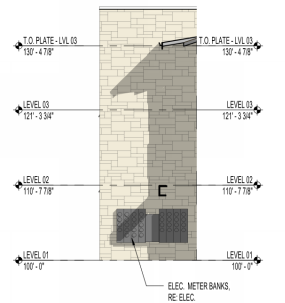
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



4 TYPE III (BLDG #4) SIDE ELEVATION
1/8" = 1'-0"



2 TYPE III (BLDG #4) SIDE (AREA A)
1/8" = 1'-0"



3 TYPE III (BLDG #4) SIDE ELEVATION
1/8" = 1'-0"



1 TYPE III (BLDG #4) SIDE (AREA B)
1/8" = 1'-0"

CASE NUMBER S201203

**CAMP WISDOM VILLAGE
PHASE 1**

2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

- OWNER**
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- CHAD KROGER**
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- MEE ENGINEER**
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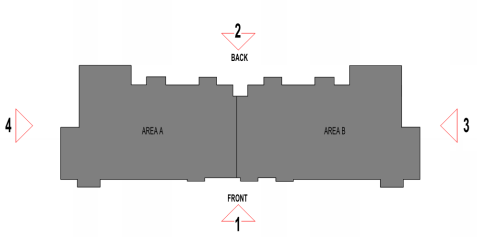
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Sheet Title: TYPE III - ENLARGED EXTERIOR ELEVATIONS

Drawing No.:

A3.37

Item 11.



EXTERIOR MASONRY CONTENT - BLDG 4 SIDE 2 ELEV

3 COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	21%
FIBER CEMENT SIDING	29%
STONE MASONRY	50%

EXTERIOR MASONRY CONTENT - BLDG 4 SIDE 1 ELEV

3 COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	21%
FIBER CEMENT SIDING	29%
STONE MASONRY	50%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND

3 COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



4 TYPE IV (BLDG # 5, 7 & 8) - SIDE (AREA A)
1/8" = 1'-0"



3 TYPE IV (BLDG # 5, 7 & 8) - SIDE (AREA B)
1/8" = 1'-0"



2 TYPE IV (BLDG # 5, 7 & 8) - OVERALL BACK ELEVATION
1/16" = 1'-0"



1 TYPE IV (BLDG # 5, 7 & 8) - OVERALL FRONT ELEVATION
1/16" = 1'-0"

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

OWNER
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Grand Prairie, TX 75053

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Frisco, TX 75034

Joe Neardon
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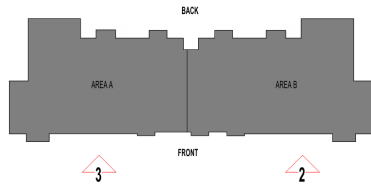
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TYPE IV - ENLARGED
EXTERIOR ELEVATIONS

Drawing No.

A3.46

CASE NUMBER S201203

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TYPE IV KEY PLAN

EXTERIOR MASONRY CONTENT - BLDG 4 FRONT ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	41%
FIBER CEMENT SIDING	25%
STONE MASONRY	34%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND			
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)		STUCCO COLOR A	
STONE MASONRY		STUCCO COLOR B	
TEXTURE COATED CONCRETE		STUCCO COLOR C	
FIBER CEMENT SIDING		STUCCO COLOR D	



3 TYPE IV (BLDG # 5, 7 & 8) - FRONT (AREA A)
1/8" = 1'-0"



2 TYPE IV (BLDG # 5, 7 & 8) - FRONT (AREA B)
1/8" = 1'-0"

CASE NUMBER S201203

Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2850 W. Camp Wisdom Road
Grand Prairie, Texas 75052

- OWNER**
Camp Wisdom Apt Ph 1, LLC.
P.O. BOX 535051
Grand Prairie, TX 75053
- Hamilton Peck
(972) 877-8953
- CIVIL ENGINEER**
Pacheco Koch, Inc.
7537 Rambler Road, Suite 1400
Dallas, TX 75231
- Tate Braun
(972) 235-3031
- STRUCTURAL ENGINEER**
Strand Systems Engineering, Inc.
10003 Technology Blvd West
Dallas, TX 75220
- Chad Konger
(972) 629-5204
- MEP ENGINEER**
Lewanda & Company, LLC
6136 Frisco Square Blvd, Suite 400
Frisco, TX 75034
- Joe Nyangom
(469) 287-5488

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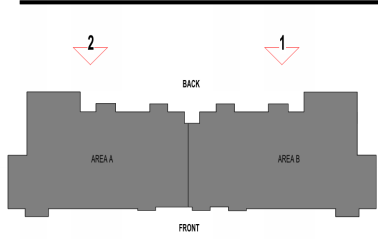
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2637
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WS
Sheet Title:
TYPE IV - ENLARGED
EXTERIOR ELEVATIONS
Drawing No.

A3.47



TYPE IV KEY PLAN

EXTERIOR MASONRY CONTENT - BLDG 4 BACK ELEV

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	50%
FIBER CEMENT SIDING	17%
STONE MASONRY	33%

EXTERIOR FINISH NOTES

1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



2 TYPE IV (BLDG # 5, 7 & 8) - BACK (AREA A)
1/8" = 1'-0"



1 TYPE IV (BLDG # 5, 7 & 8) - BACK (AREA B)
1/8" = 1'-0"

CASE NUMBER S201203

Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

OWNER
Camp Wisdom Apt Ph 1, LLC
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Grand Prairie, TX 75053

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13033 Technology Blvd West
Dallas, TX 75220

Chad Konger
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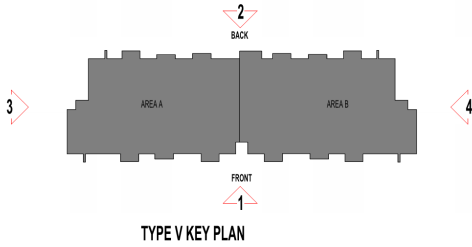
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Sheet Title:
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EXTERIOR ELEVATIONS

Drawing No.

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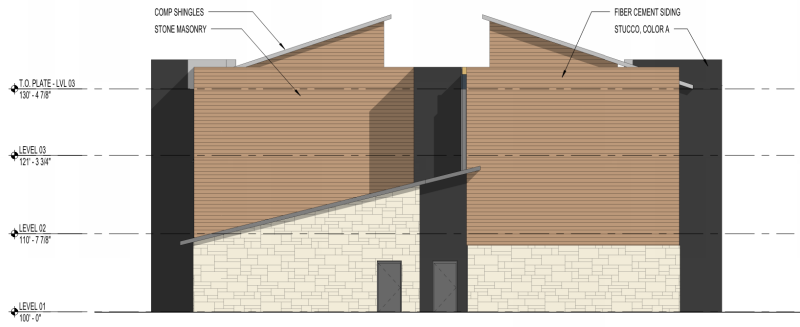


EXTERIOR MASONRY CONTENT - BLDG 5 SIDE 2 ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	23%
FIBER CEMENT SIDING	28%
STONE MASONRY	49%

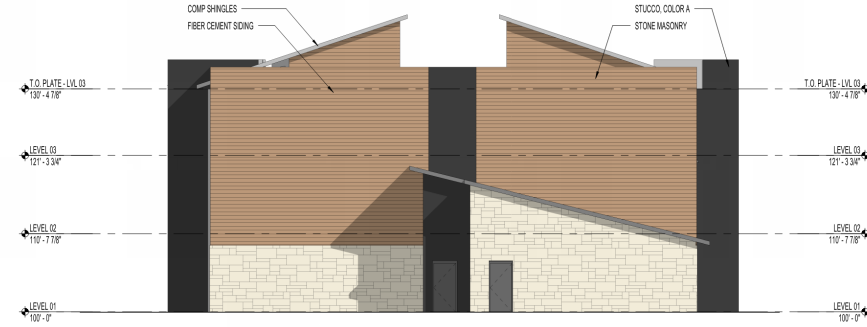
EXTERIOR MASONRY CONTENT - BLDG 5 SIDE 1 ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	23%
FIBER CEMENT SIDING	28%
STONE MASONRY	49%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR.

EXTERIOR FINISH LEGEND			
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)		STUCCO COLOR A	
STONE MASONRY		STUCCO COLOR B	
TEXTURE COATED CONCRETE		STUCCO COLOR C	
FIBER CEMENT SIDING		STUCCO COLOR D	



4 TYPE V (BLDG # 6 & 10) - SIDE (AREA B)
1/8" = 1'-0"



3 TYPE V (BLDG # 6 & 10) - SIDE (AREA A)
1/8" = 1'-0"



2 TYPE V (BLDG # 6 & 10) - BACK ELEVATION OVERALL
1/16" = 1'-0"



1 TYPE V (BLDG # 6 & 10) - OVERALL ELEVATION
1/16" = 1'-0"

CASE NUMBER S201203

Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

OWNER
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Grand Prairie, TX 75053

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STRUCTURAL ENGINEER
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Dallas, TX 75220

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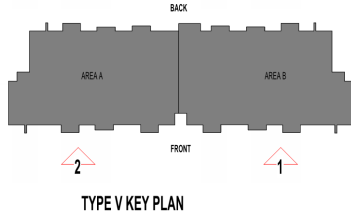
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TYPE V - ENLARGED
EXTERIOR ELEVATIONS

Drawing No. _____

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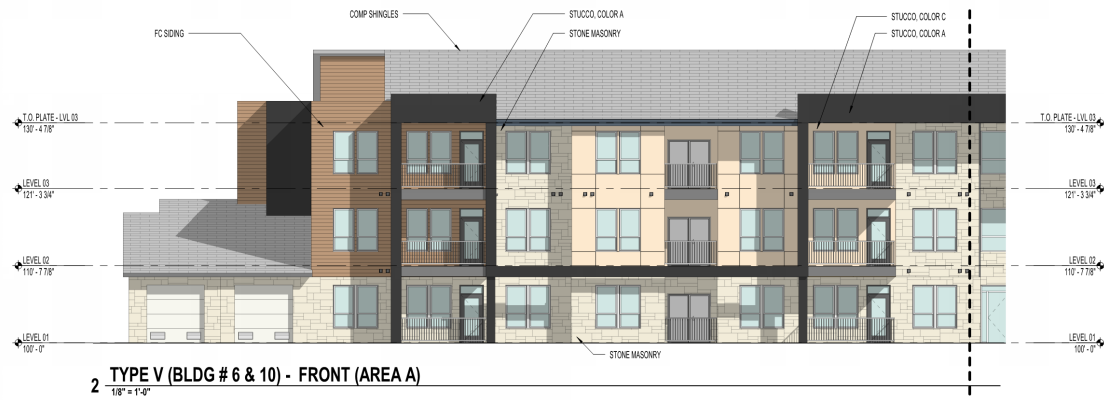
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EXTERIOR MASONRY CONTENT - BLDG 5 FRONT ELEV	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	38%
FIBER CEMENT SIDING	21%
STONE MASONRY	40%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR.

EXTERIOR FINISH LEGEND			
3 COAT PORTLAND CEMENT PLASTERWORK (STUCCO)		STUCCO COLOR A	
STONE MASONRY		STUCCO COLOR B	
TEXTURE COATED CONCRETE		STUCCO COLOR C	
FIBER CEMENT SIDING		STUCCO COLOR D	



Item 11.

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

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Revisions:

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Project No: 2637

Drawn By: WGC

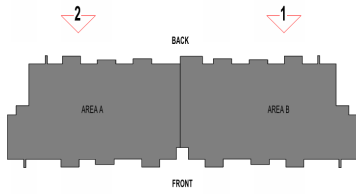
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Sheet Title: TYPE V - ENLARGED EXTERIOR ELEVATIONS

Drawing No:

CASE NUMBER S201203

A3.56



TYPE V KEY PLAN

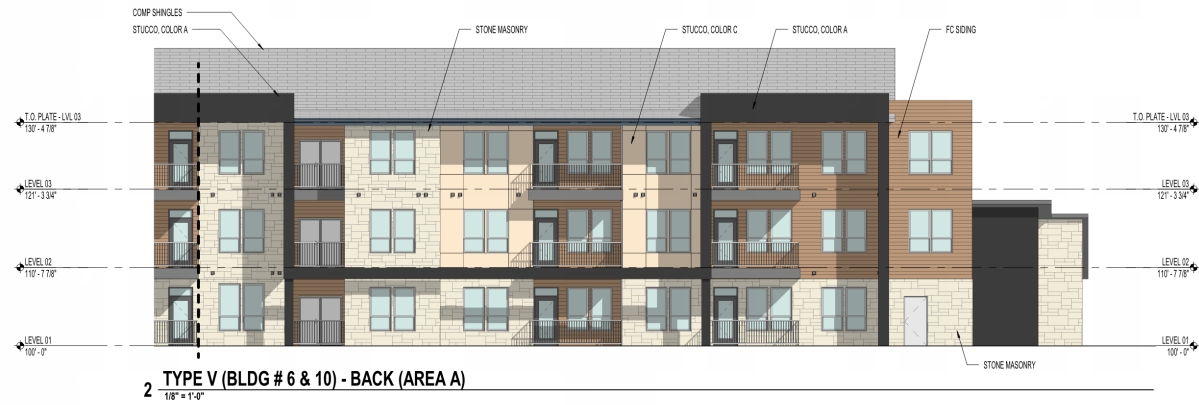
EXTERIOR MASONRY CONTENT - BLDG 5 BACK ELEV

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	39%
FIBER CEMENT SIDING	32%
STONE MASONRY	29%

- EXTERIOR FINISH NOTES**
1. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
 2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
 3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR
 4. GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR

EXTERIOR FINISH LEGEND

3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A	
STONE MASONRY	STUCCO COLOR B	
TEXTURE COATED CONCRETE	STUCCO COLOR C	
FIBER CEMENT SIDING	STUCCO COLOR D	



2 TYPE V (BLDG # 6 & 10) - BACK (AREA A)
1/8" = 1'-0"



1 TYPE V (BLDG # 6 & 10) - BACK (AREA B)
1/8" = 1'-0"

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

- OWNER**
Camp Wisdom Apt Ph 1, LLC.
P.O. BOX 535025
Grand Prairie, TX 75053
- HAMILTON PECK**
(972) 877-8953
- CIVIL ENGINEER**
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7357 Rambler Road, Suite 1400
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- TATE BRAUN**
(972) 235-3031
- STRUCTURAL ENGINEER**
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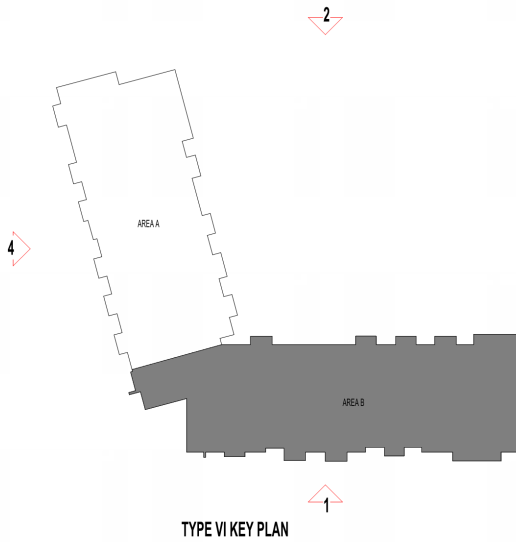
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Sheet Title:
TYPE V - ENLARGED
EXTERIOR ELEVATIONS

Drawing No.

CASE NUMBER S201203

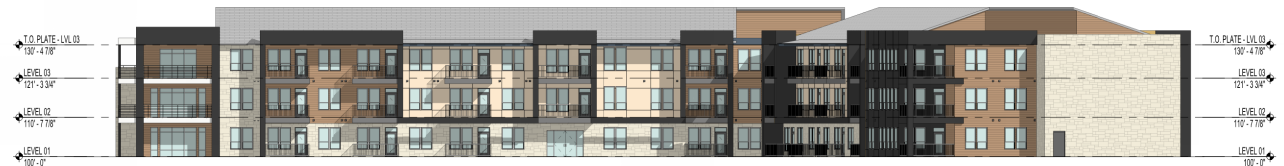
A3.57



4 TYPE VI (BLDG #9) - ELEVATION OVERALL WEST
1/16" = 1'-0"



3 TYPE VI (BLDG #9) - OVERALL ELEVATION EAST
1/16" = 1'-0"



2 TYPE VI (BLDG #9) - OVERALL ELEVATION BACK
1/16" = 1'-0"



1 TYPE VI (BLDG #9) - FRONT ELEVATION
1/16" = 1'-0"

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
Grand Prairie, Texas 75052

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P.O. BOX 535051
Grand Prairie, TX 75053

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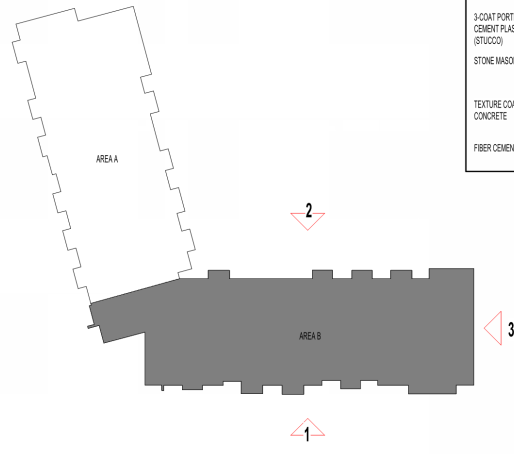
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WVS

Sheet Title:
TYPE VI - EXTERIOR
BUILDING ELEVATIONS

Drawing No.

A3.65

CASE NUMBER S201203



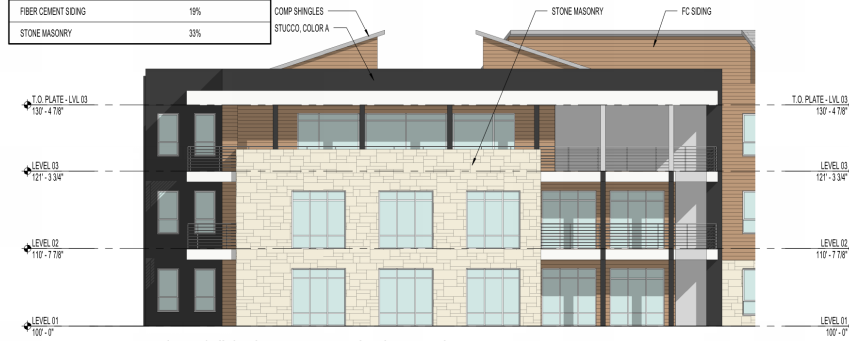
TYPE VI KEY PLAN

EXTERIOR FINISH LEGEND			
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)		STUCCO COLOR A	
STONE MASONRY		STUCCO COLOR B	
TEXTURE COATED CONCRETE		STUCCO COLOR C	
FIBER CEMENT SIDING		STUCCO COLOR D	

EXTERIOR MASONRY CONTENT - BLDG 6 BACK (AREA B)	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	41%
FIBER CEMENT SIDING	31%
STONE MASONRY	28%

EXTERIOR MASONRY CONTENT - BLDG 6 FRONT (AREA B)	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	48%
FIBER CEMENT SIDING	28%
STONE MASONRY	24%

- | EXTERIOR FINISH NOTES | |
|-----------------------|-----------------------------------------------------------------------------|
| 1. | ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL. |
| 2. | MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE. |
| 3. | UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR. |
| 4. | GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR. |



3 TYPE VI (BLDG #9) - SIDE ELEVATION (AREA B)

1/8" = 1'-0"



2 TYPE VI (BLDG #9) - BACK ELEVATION (AREA B)

1/8" = 1'-0"



1 TYPE VI (BLDG #9) - FRONT ELEVATION (AREA B)

1/8" = 1'-0"

CASE NUMBER S201203

**CAMP WISDOM VILLAGE
PHASE 1**
2650 W. Camp Wisdom Road
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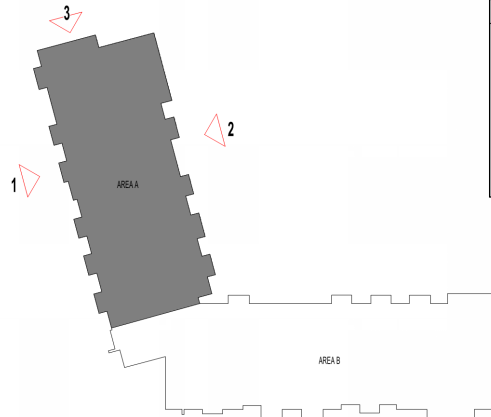
Drawn By: WGC

Checked By: WS

Sheet Title: TYPE VI - ENLARGED EXTERIOR ELEVATIONS

Drawing No.

A3.66



TYPE VI KEY PLAN

EXTERIOR FINISH LEGEND			
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	STUCCO COLOR A		
STONE MASONRY	STUCCO COLOR B		
TEXTURE COATED CONCRETE	STUCCO COLOR C		
FIBER CEMENT SIDING	STUCCO COLOR D		

EXTERIOR MASONRY CONTENT - BLDG 6 FRONT (AREA A)	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	36%
FIBER CEMENT SIDING	27%
STONE MASONRY	36%

EXTERIOR MASONRY CONTENT - BLDG 6 BACK (AREA A)	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	50%
FIBER CEMENT SIDING	19%
STONE MASONRY	31%

EXTERIOR MASONRY CONTENT - BLDG 6 SIDE (AREA A)	
3-COAT PORTLAND CEMENT PLASTERWORK (STUCCO)	21%
FIBER CEMENT SIDING	22%
STONE MASONRY	57%

- | EXTERIOR FINISH NOTES | |
|-----------------------|-----------------------------------------------------------------------------|
| 1. | ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL. |
| 2. | MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE. |
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| 4. | GUTTERS & DOWNSPOUTS FINISH TO MATCH ADJACENT WALL COLOR. |



3 TYPE VI (BLDG #9) - SIDE ELEVATION (AREA A)
1/8" = 1'-0"



2 TYPE VI (BLDG #9) - BACK (AREA A)
1/8" = 1'-0"



1 TYPE VI (BLDG #9) - FRONT (AREA A)
1/8" = 1'-0"

CASE NUMBER S201203

Item 11.

CAMP WISDOM VILLAGE
PHASE 1
2650 W. Camp Wisdom Road
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REV.	DATE	TITLE

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12/18/2020
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Drawn By: WJG
Checked By: WJS
Sheet Title: TYPE VI - ENLARGED EXTERIOR ELEVATIONS
Drawing No.:

A3.67



Hamilton Commercial, LLC
401 E Palace Parkway, Suite 200
Grand Prairie, TX 75050

Camp Wisdom Amenities List

- **Luxury In-Unit Features Include: Laundry Room, Walk-In Closet, Quartz Countertops, Stainless Steel Appliances, Open Floorplans, Energy Efficient Lighting and Appliances, Smart Home Automation, and LED Lights**
- **Private Dog Park**
- **Lap/Lounge Pool**
- **Rooftop Outdoor Kitchen/Dining/Lounge Areas**
- **Multi-Purpose Room – Yoga, Meditation, Pilates**
- **Comprehensive Fitness Center**
- **Game Room & Rooftop Lounge Area**
- **Property Wide Wi-Fi – Common Areas and Hallways**
- **Coworking Spaces – Espresso Bar, Snacks, Conference Rooms, Computer Lab**
- **Smart Home Wi-Fi Features**
- **Additional Storage Closets**



Category 1: Environmentally-friendly building materials, construction techniques, or other features

Item 11.

Tier I (Pick Three)

- i. "Smart" technology which automatically controls functions such as lights and thermostat to reduce energy loads during the day or at times of peak energy usage.
- ii. Use of solar or other form of alternative energy to satisfy approximately 25% or more of on-site energy demand.
- iii. Landscaping plan that makes use of native, drought resistant plantings not requiring the use of irrigation. In lieu of sod or turf, drought resistant plantings may be combined with coordinated hardscapes of high design quality and appearance for the purposes of meeting Tier I requirements.
- iv. Reservation of existing natural areas comprising 5% or more of the overall project size, with such areas incorporating quality non-invasive tree stands, habitat or riparian areas, and not including existing floodplain or other areas already protected or inherently unsuitable for development.
- v. Permeable pavement for 10% or more of total paving.
- vi. Electric car charging station (minimum 2).
- vii. High efficiency windows on residential and common buildings.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 100% of irrigation in accordance with section 8.4.1.11.

Tier II (Pick Four)

- i. Integration of commercial/retail/office space or live-work units.
- ii. Permeable pavement for 5% or more of total paving.
- iii. Roofing material with a minimum total solar reflectance of 0.70 and a minimum thermal emittance of 0.75 when measured using ASTM testing methods endorsed by the North Central Texas Council of Governments.
- iv. Significant use of recycled or locally-sourced materials. Locally-sourced is defined as a material having its origin within 50 miles of the project.
- v. Preservation of existing non-invasive trees with a combined canopy square footage area totaling at least 5% of the overall project size (trees can come from any portion of the site other than areas which are already projected or inherently unsuitable for development, such as floodplain).
- vi. Qualified recycling program available to every resident.
- vii. Walking/jogging trails within the development. Where possible, trails should utilize existing natural areas and provide linkages to existing or future area trail networks.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 50% of irrigation in accordance with section 8.4.1.11.

Tier III (Pick Five)

- i. Additional insulation.
- ii. LED or low-wattage lighting.
- iii. Bicycle parking.
- iv. Use of additional native plantings totaling 10% or more of minimum landscape requirements.
- v. Stormwater or grey water reclamation for on-site reuse in accordance with section 8.4.1.11.
- vi. Solar-ready building design.
- vii. Outdoor recreation spaces with communal features such as furniture, landscaping, gardens, televisions, movie screens, BBQ grills, pergolas, areas for fitness or sports activities, and interactive water features, not including standard unheated swimming pools, which are designed for water conservation or reuse.
- viii. Big and small dog parks.

Category 2: High-quality features or designs**Tier I (Pick Four)**

- i. Granite countertops or similar in kitchens and bathrooms.
- ii. Upgraded flooring throughout, consisting of masonry tile, such as porcelain or travertine, wood-look tile, true hardwood, stained concrete, or deep pile carpeting.
- iii. Minimum 10 foot ceilings in living areas, kitchen, dining rooms, hallways, bathrooms and bedrooms.
- iv. Upgraded woodwork throughout each unit, such as crown molding, wainscot, chair rails, window and door moldings.
- v. Upgraded cabinetry.

Tier II (Pick Five)

- i. Arched forms separating rooms and living spaces.
- ii. Upgraded light fixtures including recessed lighting or indirect lighting.
- iii. Walk-in closets.
- iv. Jetted bathtubs.
- v. Upgraded bathroom and kitchen hardware, including faucets and sinks.
- vi. Full-size stainless steel major appliances (oven, range, refrigerator, dishwasher, microwave oven).
- vii. 8 foot doors leading to each room of a unit.

Category 3: Technology (Provide All)

- a. Integrated USB ports within all units.
- b. App-enabled functionality for door locks, lighting, thermostat, appliances, or other electronics.
- c. App-enabled communication between residents and management for the reporting of problems related to mechanical failures, safety concerns, or noise issues.
- d. Wi-fi internet access provided to users of common amenities such as clubhouse, pool, walking trails, and fitness area.



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Dana Woods, AICP, Senior Planner

TITLE: SU210301/S210301 - Specific Use Permit / Site Plan – Bush & Pioneer Centre (Council District 2). Specific Use Permit and Site Plan for drive through restaurant within Bush Pioneer Centre on 1.155 acres. Lot 5R, Block A, Bush Pioneer Centre Addition, City of Grand Prairie, Dallas County, Texas, zoned PD 351, within the 161 Corridor Overlay District, approximately located northeast of the intersect of SH161 and Arkansas Lane

RECOMMENDED ACTION: Staff recommends approval.

SUMMARY:

Specific Use Permit and Site Plan for drive through restaurant within Bush Pioneer Centre on 1.155 acres. Lot 5R, Block A, Bush Pioneer Centre Addition, City of Grand Prairie, Dallas County, Texas, zoned PD 351, within the 161 Corridor Overlay District, approximately located northeast of the intersect of SH161 and Arkansas Lane.

PURPOSE OF REQUEST:

The applicant wishes to modify a previously approved site plan to add a drive through restaurant. The zoning for the site is Planned Development PD-351 within the 161 Overlay District. The planned development requires a specific use permit for drive through restaurants.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	Planned Development PD-351	Walmart Supercenter
South	Planned Development PD-273A	Smoothie King
West	Planned Development PD-351	Starbucks
East	Planned Development PD-351	Wendy's

HISTORY:

April 21, 2015: City Council approved a Planned Development (PD-351) that allows commercial uses along with some various uses associated with the large box retailer.

June 1, 2015: The Bush & Pioneer Centre final plat was approved by the Planning and Zoning Commission.

November 19, 2019: A site plan was approved for the site to accommodate retail tenants (Case Number S101102).

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The 6,000 square-foot retail and restaurant building sits on a single 1.155-acre lot. One end of the structure has been modified to accommodate a drive through restaurant. The site meets the requirements of the Unified Development Code (UDC) except for a variance from Appendix F, Corridor Overlay District Standards. The variance involves the window requirements on all elevations with additional details noted in the variance section.

ZONING REQUIREMENTS:*Density and Dimensional Requirements*

The property is subject to density and dimensional requirements in Article 6 of the Unified Development Code (UDC). The following table summarizes these requirements. The proposal meets the density and dimensional requirements.

Table 2: Site Data Summary

Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	5,000	50,294	Yes
Min. Lot Width (Ft.)	50	328	Yes
Min. Lot Depth (Ft.)	100	262	Yes
Front Setback (Ft.)	25	30	Yes
Rear Setback (Ft.)	0	24	Yes
Max. Height (Ft.)	25	34	No
Max. Floor Area Ratio (FAR)	5:1	11:1	Yes

Parking Requirements

The property is subject to parking requirements in Article 10 of the UDC. The following table summarizes these requirements. The proposal meets the parking requirements.

Table 3: Parking Summary

Standard	Required	Provided	Meets
Restaurant Parking	24		
Barber Shop Parking	22		
Retail	10		
Total Spaces	56	50	No*
Drive Through Que	6	8	Yes

*DRC has approved a 15% reduction in parking requirement.

Landscape and Screening

The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC. The table below summarizes these requirements. The proposal meets or exceeds the landscape and screening requirements.

Table 4: Landscape & Screening Requirements

Standard	Required	Provided	Meets
Landscape Area	5029 SF	12, 944 SF	Yes
Trees	8	9	Yes
Shrubs	111	402	Yes

Building Design

The building is primarily brick, stone and EFIS.

The following elements have been selected: Material mix, stone accent, color contrast, corner treatment, articulated public entrance, articulation elements, 25% covered walkways, awnings, canopies, or porticos. The proposed building elevations meet the building design requirements in Appendix F, except for covered walkways or awnings and minimum window requirements on all facades.

VARIANCES:

The applicant is requesting the following variances:

1. 25% covered walkways, awnings, canopies or porticos on all facades – Partial awnings are proposed on three facades.
2. 50% window coverage on all sides – The primary façade has 32% window with less shown on sides.

ANALYSIS:

The applicants request exceeds the max height for subject property. The additional height is standard for the architectural styling of contemporary commercial buildings. The additional height also provides adequate screening for roof mounted mechanical equipment. The relationship of this site to its surroundings does not yield well to the 25% requirement for covered walkways, awnings, canopies or porticos on all facades. Additionally, the applicant has enhanced landscaping to compensate for no windows on the rear facade along with not meeting the 50% window requirement on the remaining facades.

RECOMMENDATION:

DRC recommends approval of the Site Plan and staff has no objections to the variances.

Exhibit A - Location Map
Page 1 of 1

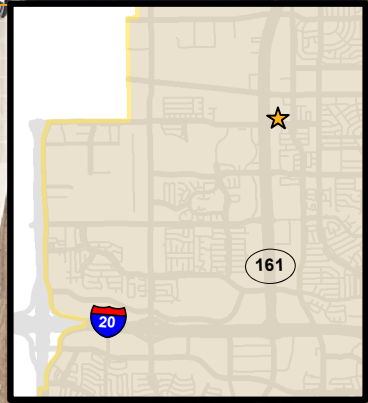
Item 12.



S Hwy 161 Nb

S Hwy 161 Svc Nb Rd

Arkansas Ln



CASE LOCATION MAP
 SU210201/S210301
 Specific Use Permit/Site Plan
 Bush & Pioneer Centre



City of Grand Prairie
 Development Services

(972) 237-8255
 www.gptx.org

105



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/08/2021

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: TA210101 - Text Amendment to Article 10: Parking and Loading Standards and Article 30: Definitions of the Unified Development Code to revise the parking requirements and definitions regarding auto related businesses

RECOMMENDED ACTION: Approve

SUMMARY:

Auto Related Business Text Amendment: Amend standards and definitions of the Unified Development Code to update parking requirements for auto related businesses and provide repossessed vehicle storage as an accessory use to auto sales, An ordinance amending Article 10 Parking and Loading Standards and Article 30 Definitions of the Unified Development Code.

PURPOSE OF REQUEST:

The purpose of this request is to update parking calculations provided in Article 10 of the UDC for auto-related businesses/motor vehicle sales and to update the definitions in Article 30 for auto dealer sales for accessory repossessed vehicle storage and vehicle types. The parking calculation and definition update will help clarify and resolve existing auto sales issues throughout the City.

Staff completed a survey of surrounding/similarly sized cities (see Exhibit B) within the metroplex to grasp what other municipalities are implementing for similar uses.

Grand Prairie's current parking standards for auto-related businesses/motor vehicle sales does not sufficiently provide enough parking to meet use needs. The proposed changes are broken into two categories – automotive-related services and motor vehicle sales. The Unified Development Code requires that automotive-related services provide one parking space per 400 square feet of lot area with a minimum of six parking spaces. The changes to automotive-related services would require businesses to provide more parking to adequately serve the use's demands and provide dedicated parking for employees. Staff is proposing repealing and replacing current regulations with providing three parking spaces per service bay along with one space per maximum number of employees per shift. Furthermore, staff recommends keeping the current minimum requirement of six parking spaces per use. Staff has added a note stating that if there are multiple uses on the lot, there must be parking provided in an

amount equal to the total requirements for all the uses. This will ensure that multiple uses are not sharing the same parking.

The changes to motor vehicle sales parking have the same effect as well, while not as severe. The Unified Development Code requires that automotive-related services provide one parking space per 400 square feet of area that should be designated as visitor parking. Staff has worked to refine this regulation to define the area specified. The area will be calculated based on either indoor sales or lot area for outdoor sales. Additionally, staff has added the requirement that one space per maximum number of employees on a shift is provided and designated as employee parking.

Lastly, the Unified Development Code does not allow for repossessed vehicles to be stored on-site for auto dealers. Code Enforcement Division has issues with small auto dealers repossessing cars with liens (vehicles sold on-site) and holding them on the property. The proposed amendment would allow the auto sales-oriented businesses to have repossessed vehicle storage by right, with certain conditions. Repossessed vehicle storage would be limited to 20 percent of the total site area and secured and screened by a fence and gate. Furthermore, dealers may only repossess vehicles from the site that they are bought.

PROPOSED STANDARDS:

See Exhibit A – Text Amendment

Proposed changes are in red text.

Article 10: Parking and Loading Standards – Section 10.7.2

Use Classification	Minimum Spaces
Retail/Service:	<i>Actual number of parking spaces provided for non-residential buildings in excess of 30,000 square feet in area shall not surpass 115% of the minimum parking requirement for the specific use classification per Section 10.7.2.A above.</i>
Restaurants	One (1) Space Per 100 Square Feet of Designated Dining and Waiting Areas, Including Outdoor Dining Areas
Retail	One (1) Space Per 275 Square Feet
Beauty / Barber Shop	One (1) Space for each Employee, Plus Two (2) Spaces for each Service Station (Which Includes Cutting Chair, Nail Station, Tanning Booth, Hair Drying Chair, Spa Room and Other Similar Areas)
Trade School (Commercial)	One (1) Space Per 275 Square Feet
Funeral Parlor	Eight (8) Spaces Per Parlor Room Plus One (1) Space Per Funeral Vehicle
Personal Business Service	One (1) Space Per 275 Square Feet
Furniture and Appliance Store	One (1) Space Per 600 Square Feet
Day Care, Kindergarten or Orphanage	One (1) Space Per 10 Pupils Plus One (1) Space Per Employee
Service Station, Auto Repair, Car Care, or Automotive Related Services <i>*Lots containing more than one auto related use shall provide parking and loading in an amount equal to the total of the requirements for all uses.</i>	One (1) Space Per 400 Square Feet with a Minimum of Six (6) Spaces <u>Three parking spaces per service bay plus one space per max. number of employees on a shift, with a minimum of six spaces per use.</u>
Car Wash (Self Service)	Two (2) Tandem Spaces Per Bay (Wash Bay Not Included)
Car Wash (Machine)	<ul style="list-style-type: none"> ✓ One (1) Space Per 150 Square Feet ✓ 2/3 of the Minimum Spaces shall be Tandem Spaces for Cars Awaiting Wash or Vacuum
Motor Vehicle Sales	One (1) Space Per 400 Square Feet <u>of sales floor for indoor sales or lot area for outdoor sales</u> designated as visitor parking, <u>plus one space per max. number of employees on a shift</u>
Trailer Sales / Rental Model Home	Two (2) Spaces Per Employee
Greenhouse / Plant Nursery	One (1) Space Per 400 Square Feet
Dry Cleaner	One (1) Space Per 200 Square Feet

Article 30: Definitions

Auto Dealer (New): Means a car dealership that sells primarily new ~~cars~~ automobiles, light trucks, or vans at the retail level, based on a dealership contract with an automaker or its sales subsidiary. Secondary Accessory uses to a New Auto Dealer may include used auto sales, online sales, quick lube, state inspection, car wash and detail, wheels and tires with indoor display, minor auto repair and major auto repair. Repossessed Vehicle Storage will be considered an ancillary use where such designated impound area does not exceed 20% of the total site area and is for the temporary impound and/or storage of repossessed automotive vehicles that were sold on-site. The designated impound area will be secured and screened with a fence and gate.

Auto Dealer (Used): Means a car dealership that sells primarily used ~~cars~~ automobiles, light trucks, or vans at the retail level under a franchise agreement applicable to two or more locations, with such franchise agreement containing universal guidelines for dealership appearance, signage, property maintenance, and condition of inventory. Secondary Accessory uses to a Used Auto Dealer, other than Make Ready, must be approved individually per the use charts. Repossessed Vehicle Storage will be considered an ancillary use where such designated impound area does not exceed 20% of the total site area and is for the temporary impound and/or storage of repossessed automotive vehicles that were sold on-site. The designated impound area will be secured and screened with a fence and gate.

Auto Dealer ~~Retail~~ (Non-Franchised): Means a car dealership that is independently owned and operated, or that does not operate under a franchise agreement. Secondary Accessory uses to a Non-Franchised Auto Dealer, other than Make Ready, must be approved individually per the use charts. Repossessed Vehicle Storage will be considered an ancillary use where such designated impound area does not exceed 20% of the total site area and is for the temporary impound and/or storage of repossessed automotive vehicles that were sold on-site. The designated impound area will be secured and screened with a fence and gate.

Auto Dealer (Internet Only): Means a company other than an Auto Wholesaler that sells vehicles primarily over the internet to individual customers through a virtual storefront. Online Auto Dealers shall have no outdoor display of cars for sale or cars in inventory. Secondary Accessory uses to an Online Only Auto Dealer, other than Make Ready, must be approved individually per the use charts.

Repossessed Vehicle Storage (Accessory Use): Means a designated area of a new or used Auto Dealer that is used for the temporary impound and/or storage of repossessed automotive vehicles that were sold on-site. The designated impound area does not exceed 20% of the total site area and will be secured and screened with a fence and gate.

Auto Salvage Yard: Means a place or property where the principal use is the storage, parking, or holding of inoperable vehicles for the purpose of retail or wholesale sales of said vehicles, or salvaging of any parts thereof; or short or long term storage of said vehicles or portions thereof; including the dismantling, and partial dismantling, crushing, or compacting of said vehicles. The maximum time period for the on-site storage of crushed vehicles shall not exceed six ~~(6)~~ months (**Reference Article 4, "Permissible Uses"**).

General Auto Repair: ~~Means maintenance, repair, or replacement of the alternator, generator, starter, water pump, battery, brakes or other minor part thereof; minor tune-up (which consists of distributor~~

~~cap, rotor and spark plug replacement); change of oil and filter, fan belt, or hoses; lamp replacement; repair of flat tires; muffler replacement/repair; lubrication. Repair in this case may also include service of air conditioning, cooling system, or similar component system. This may also include state vehicle inspections and the minor repairs necessary to pass state requirements (Reference Article 4, "Permissible Uses").~~

Light Truck: Trucks and similar vehicles with single rear axles, and a gross vehicle weight less than 15,000 pounds.

Parking Standards for Auto – Related Businesses in surrounding cities

McKinney:

- **Motor vehicle/automobile sales and new or used car lots** - 1 parking space for each 500 square feet of sales floor for indoor uses plus 1 parking space for each 1,000 square feet of outdoor display area in addition to spaces calculated for office and repair areas at their respective rates.
- **Motor vehicle/automobile repair and service (with or without gasoline sales)** - 2 parking spaces for each service bay with a minimum of 5 spaces plus parking requirements for office and overnight storage of vehicle. For quick lube or similar services, three stacking spaces for each service bay shall also be provided. Spaces provided for fueling at the pump stations shall not be considered parking spaces. All types of motor vehicle service or repair facilities must have a designated area on the site plan for the overnight storage of vehicles awaiting repair. If overnight storage is proposed a minimum of 1 overnight storage parking space must be provided for each proposed service bay.
- No requirements for employee parking
- No parking area shall be used for repair, storage, dismantling, or servicing of vehicles or equipment.

Arlington:

- **Auto repair garage, major** - 2 per 1,000 sf GFA (gross floor area)
- **Motor vehicle sales, new** - 2 per 1,000 sf GFA of sales floor area
- **Motor vehicle sales, used** - 2 per 1,000 sf GFA of sales floor area
- Lots containing more than one use shall provide parking and loading in an amount equal to the total of the requirements for all uses.
- No requirements for employee parking.

Plano:

- **Vehicle Repair Garage** - 3 spaces per service bay, plus one space per employee (maximum shift), plus one space per tow truck or other service vehicle
- **Vehicle and Related Uses** - One space per employee plus one space per stored vehicle

Irving:

- The number of spaces required shall serve residents, customers, patrons, visitors and employees.
- **Automobile sales and service garages**—1 parking space for each 400 square feet of floor area.

Grapevine:

- The number of spaces required shall serve residents, customers, patrons, visitors and employees.
- **Motor vehicle or marine service & repair** – 1 parking space per 125 sq. ft. of gross floor area
- **Automotive retail sales and service (except automotive parts or accessory sales)** – 1 parking space per 2,000 sq. ft. of site area

Frisco

- **Motor Vehicle Repair and Service** - Three (3) parking spaces per service bay plus one (1) additional parking space per maximum number of employees on a shift.
- **Motor-Vehicle Salesroom and Used Car Lots** - One (1) parking space for each five hundred (500) square feet of sales floor for indoor uses, or one (1) parking space for each one thousand (1,000) square feet of lot area for outdoor uses.
- **Number of Required Stacking Spaces**
 - Automobile Oil Change and Similar Establishments
 - Three (3) stacking spaces per bay.

Mesquite

- **Vehicle Services/ Repairs** - 1 space for each 500 square feet of floor area, but not less than 5 spaces minimum.
- No requirements for employee parking.

Denton

- Auto Repair - 1 space per 500 sq ft of indoor sales/leasing/office area; plus 1 space per service bay